

# HOFFMAN ESTATES PARK DISTRICT

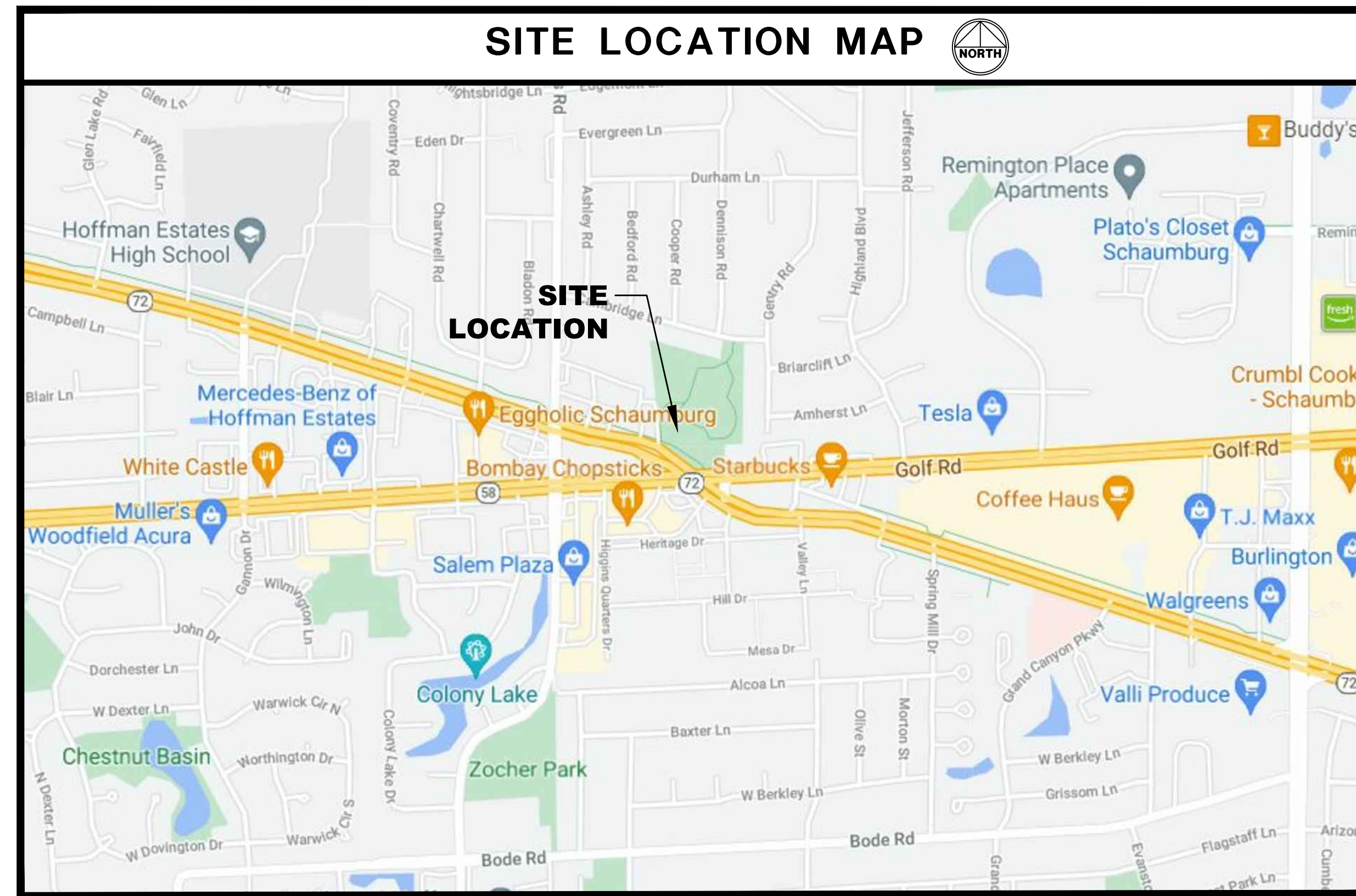
## VOGELEI HOUSE REMODEL

### 650 WEST HIGGINS ROAD

### HOFFMAN ESTATES, IL 60169

CIVIL DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	07-23-21
C-1.0	SITE DEMOLITION PLAN	07-23-21
C-2.0	SITE GEOMETRIC PLAN	07-23-21
C-3.0	SITE DEVELOPMENT PLAN	07-23-21
C-4.0	SITE GRADING PLAN	07-23-21
C-5.0	SITE UTILITY PLAN	07-23-21
C-6.0	STORM WATER POLLUTION PREVENTION PLAN	07-23-21
C-7.0	CONSTRUCTION DETAILS	07-23-21
C-8.0	PROJECT SPECIFICATIONS	07-23-21
SUR-1	TOPOGRAPHIC SURVEY	04-22-21

**BENCHMARKS:**  
SITE BENCHMARK #1 - WEST BOLT ON HYDRANT, 94' NE OF THE NORTHWESTERLY MOST BUILDING CORNER AS SHOWN. ELEVATION=833.52' (NAVD88)



SCALE 1"=800' MAP DATA © 2020 GOOGLE

**SECTION 14**  
**TOWNSHIP 41N**  
**RANGE 10E**

**LEGEND**  
— — — — —  
STORM SEWER

**CIVIL ENGINEERING STATEMENT AND SEAL**  
I, TODD ABRAMS, P.E., DULY LICENSED IN THE STATE OF ILLINOIS BY THE DEPARTMENT OF FINANCIAL AND PROFESSIONAL REGULATION, DO HEREBY STATE THAT THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF DOES CONFORM TO THE APPLICABLE BUILDING CODES AND ORDINANCES, AND ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT (410 ILCS 25) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).  
*Todd Abrams* DATE: 07/23/2021  
TODD ABRAMS - ILLINOIS P.E. # 062-061600  
DATE OF EXPIRATION - NOVEMBER 30, 2021

**DRAINAGE CERTIFICATE:**  
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO ADJOINING PROPERTIES.  
DATED THIS 9th DAY OF JULY, 2021  
*Todd Abrams* 062-061600 EXP. DATE 11/30/21  
DESIGN ENGINEER- TODD ABRAMS, P.E.

CALL JULIE TOLL FREE  
(800)842-0123  
OPERATES 24 HOURS A DAY 365 DAYS A YEAR

**WARNING**  
CALL BEFORE YOU DIG

CALL  
(800)842-0123  
48 HOURS BEFORE YOU DIG

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

WT JOB NUMBER - D2100051

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HOFFMAN ESTATES PARK DISTRICT - VOGELI HOUSE REMODEL  
650 WEST HIGGINS ROAD  
HOFFMAN ESTATES, IL 60169

project no:	D2100051
date:	06.14.2021
revision 1:	
revision 2:	
revision 3:	
revision 4:	
checked:	CM
drawn:	JB
sheet title:	TITLE SHEET
sheet number:	T-1.0



**EXISTING UTILITY DATA SITE DEMOLITION NOTES:**

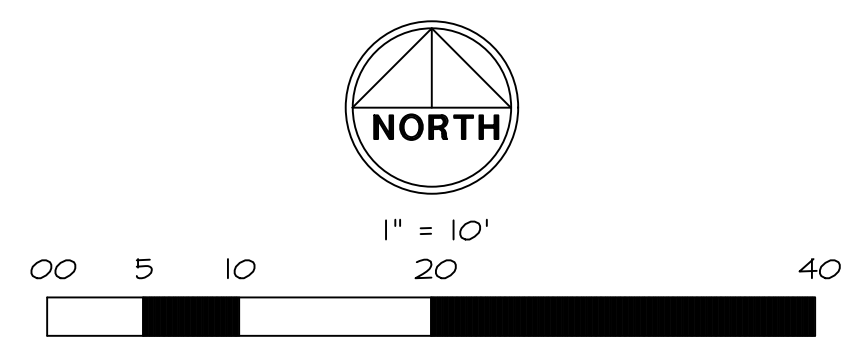
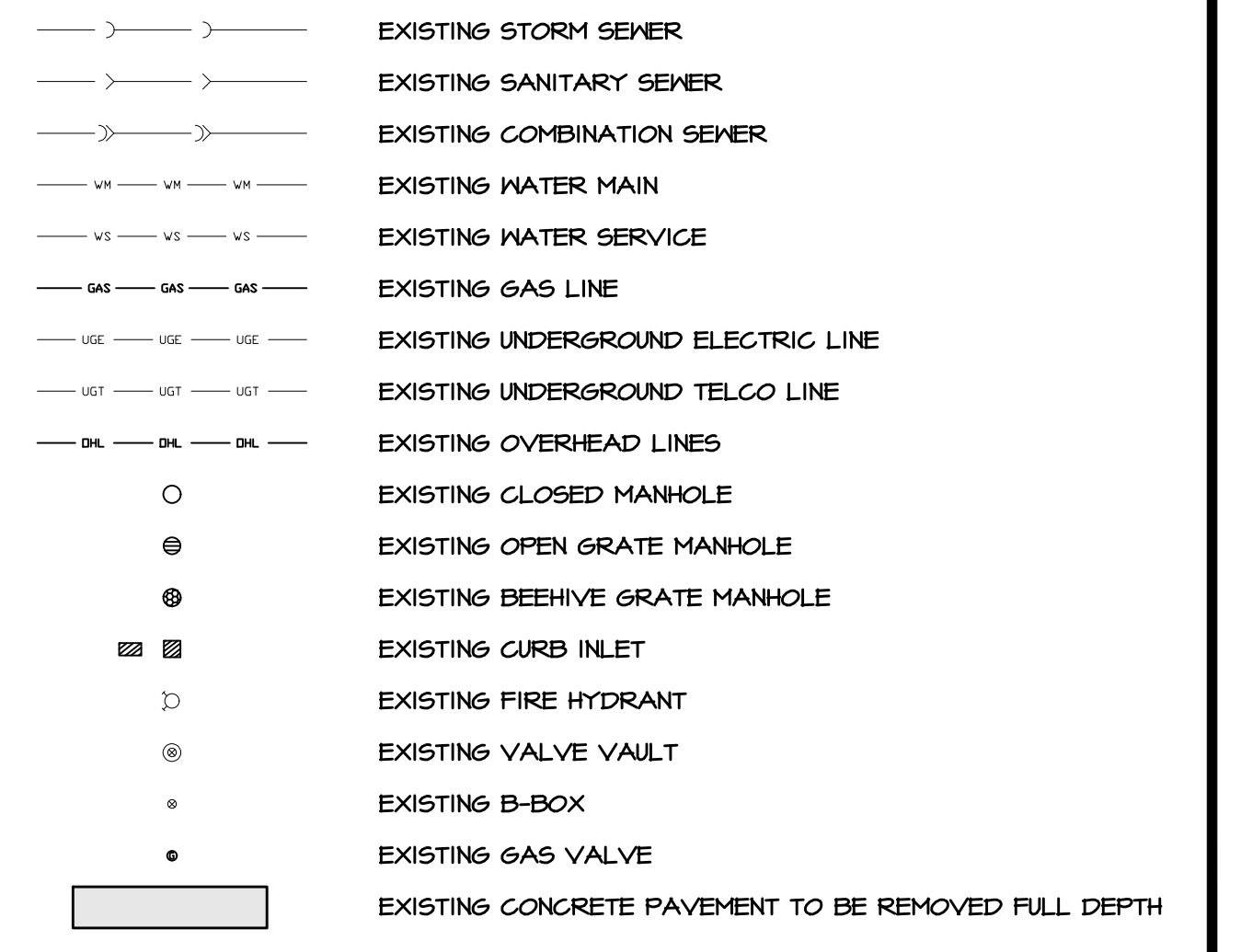
- 1 RIM=825.92' (STORM)  
48" CONCRETE STRUCTURE  
INV=821.23' (15" RCP NNE)  
INV=821.13' (18" RCP SSE)
- 2 RIM=830.57' (WATER)  
48" CONCRETE STRUCTURE  
824.23' AT TOP OF 4" DIP E  
824.30' AT TOP OF 6" DIP N/S
- 3 RIM=833.15' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=824.05' (6" CLAY N)  
INV=825.49' (6" PVC S)
- 4 RIM=831.49' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=822.87' (8" CLAY N/S)

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY N-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SUR-1 TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.
- S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.
- T. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

**PROJECT NOTES:**

- 1. EXISTING STAIRS TO REMAIN.
- 2. EXISTING RAILING TO BE REMOVED.
- 3. EXISTING A/C UNIT TO BE REMOVED AND RELOCATED.
- 4. EXISTING LANDSCAPING TO BE REMOVED.
- 5. EXISTING FIRE DEPARTMENT CONNECTION TO BE REMOVED AND RELOCATED, REFER TO THE SITE UTILITY PLAN FOR THE NEW LOCATION OF THE FIRE DEPARTMENT CONNECTION.
- 6. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 7. EXISTING BUILDING TO REMAIN.
- 8. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 9. EXISTING BENCH TO REMAIN.
- 10. EXISTING SANITARY SEWER TO REMAIN.
- 11. EXISTING SANITARY STRUCTURE TO REMAIN.
- 12. EXISTING HANDHOLE TO REMAIN USE CAUTION WHEN EXCAVATING NEAR THE EXISTING HAND HOLE.
- 13. EXISTING COLUMNS TO REMAIN.
- 14. EXISTING MOOD PORCH TO REMAIN.
- 15. EXISTING ASPHALT PAVEMENT TO REMAIN.
- 16. EXISTING WATER MAIN TO REMAIN.
- 17. EXISTING WATER B-BOX TO REMAIN.
- 18. EXISTING LANDSCAPING TO REMAIN.
- 19. EXISTING RETAINING WALL TO BE REMOVED.
- 20. EXISTING TRASH CAN TO REMAIN.
- 21. EXISTING SIGN TO REMAIN.
- 22. EXISTING PATIO SLAB TO BE ADJUSTED. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 23. SAWCUT EXISTING ASPHALT PAVEMENT FULL DEPTH FOR CLEAN CONSTRUCTION BREAK.
- 24. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH FOR THE INSTALLATION OF NEW 4" CA-6 SUBBASE AND 5" THICK CONCRETE SIDEWALK.
- 25. EXISTING TREE TO BE REMOVED.
- 26. EXISTING CONCRETE STAIRS, CONCRETE WALL, AND RAILINGS TO BE REMOVED.
- 27. EXISTING A/C UNIT TO REMAIN.

**DEMOLITION LEGEND**



WT JOB NUMBER - D2100051

**WT GROUP**  
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Civil/Soil Survey | Telecommunications/Aviation  
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Engineering with Precision, Pace & Passion.  
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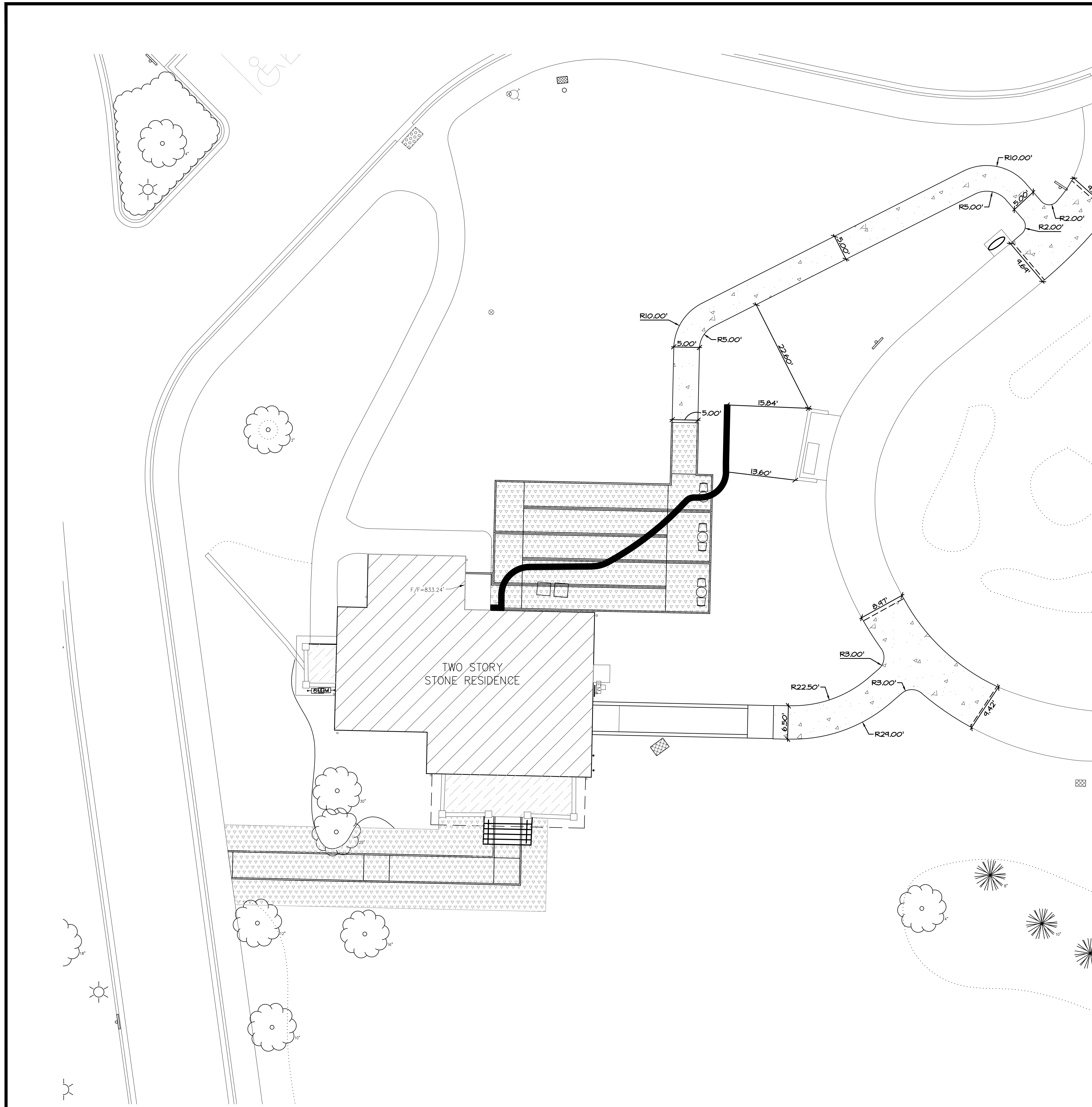
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**HOFFMAN ESTATES PARK DISTRICT - VOGELI HOUSE REMODEL**  
 650 WEST HIGGINS ROAD  
 HOFFMAN ESTATES, IL 60169

project no. D2100051  
 date: 06.14.2021  
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 revision 3:  
 revision 4:  
 checked: CN  
 drawn: B  
 sheet no.:  
**SITE DEMOLITION PLAN**  
 sheet number:  
**C-1.0**

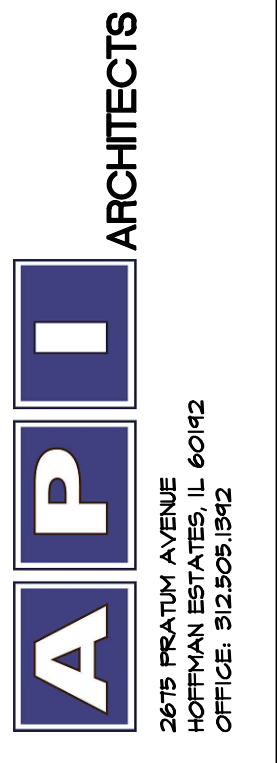
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**SITE GEOMETRIC NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT JULLIE (311 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

NOTE:  
 6" MULCH PROVIDED BY PARK DISTRICT. EXCAVATOR SHALL LEAVE FINISHED GRADE 6" BELOW FINISHED GRADE WHERE THE PROPOSED MULCH WILL BE INSTALLED BY THE PARK DISTRICT.



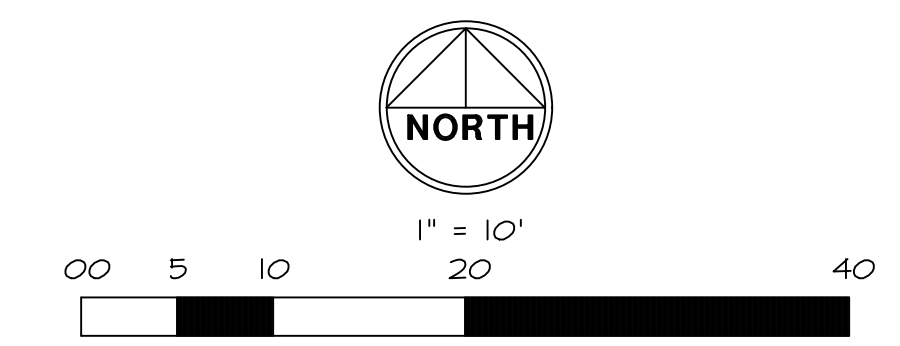
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 Expires: November 30, 2025

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**650 WEST HIGGINS ROAD**  
**HOFFMAN ESTATES, IL 60169**

project no. D2100051  
 date: 06.14.2021  
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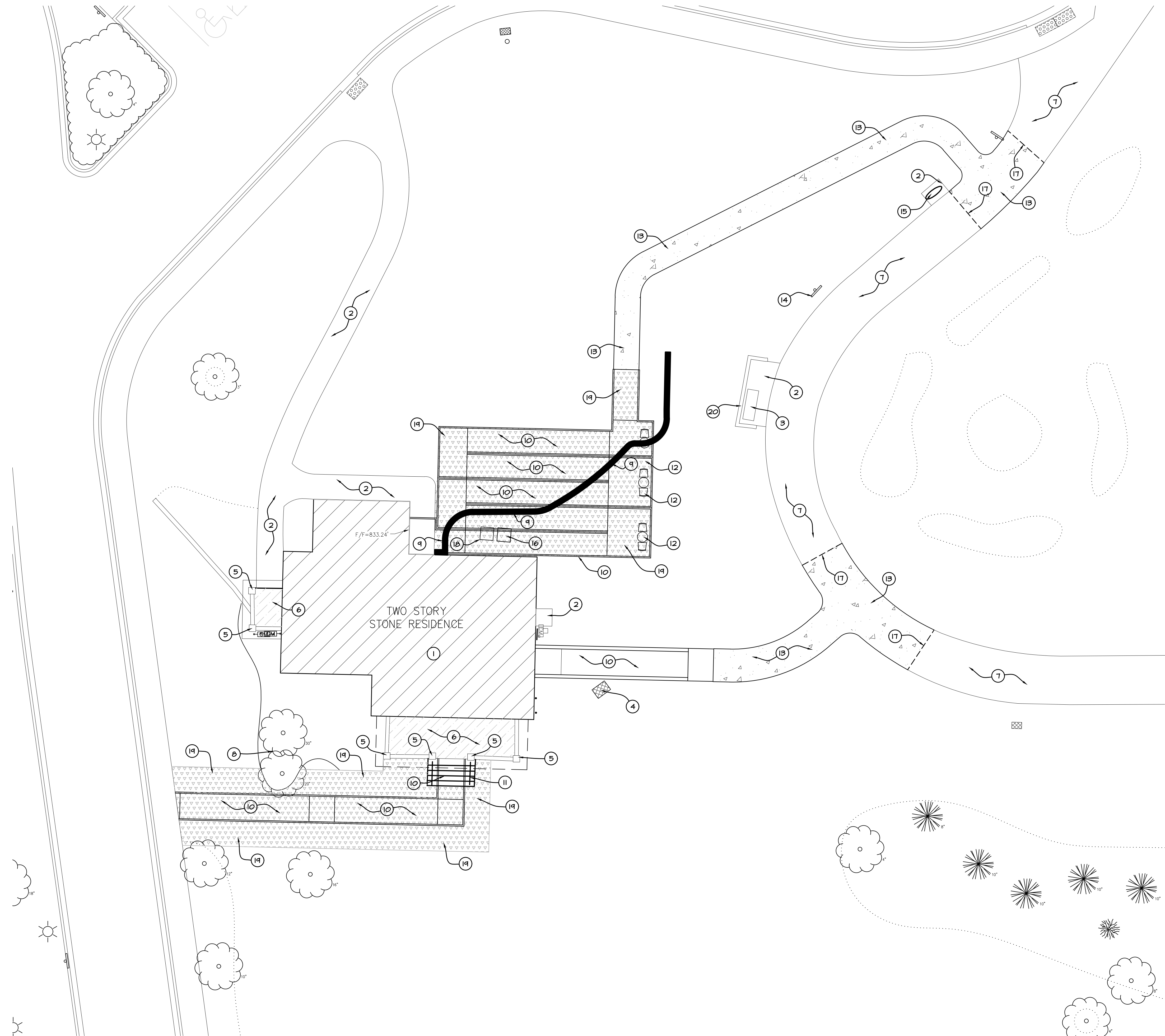
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**SITE GEOMETRIC PLAN**  
 sheet number:  
**C-2.0**



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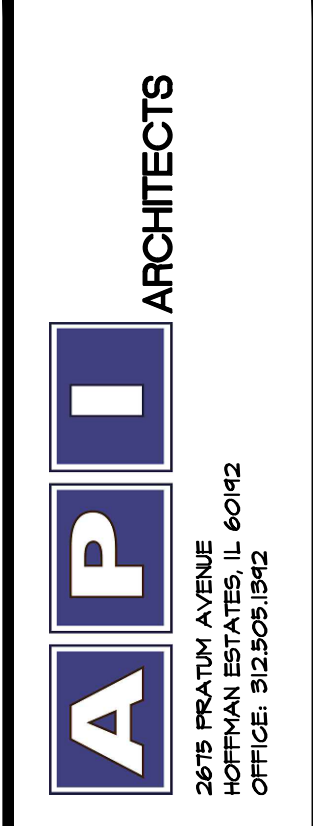
**SITE DEVELOPMENT NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY M-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONTRACTOR SHALL COORDINATE ALL LANDSCAPING IMPROVEMENTS WITH LANDSCAPE PLANS.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1045.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH (6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET). CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- J. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAYS/PARKING LOT TO MATCH EXISTING.
- K. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- L. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

**PROJECT NOTES:**

- 1. EXISTING BUILDING TO REMAIN.
- 2. EXISTING CONCRETE SIDEWALK TO REMAIN.
- 3. EXISTING BENCH TO REMAIN.
- 4. EXISTING HANDHOLE TO REMAIN.
- 5. EXISTING COLLINGS TO REMAIN.
- 6. EXISTING WOOD PORCH TO REMAIN.
- 7. EXISTING ASPHALT PAVEMENT TO REMAIN.
- 8. EXISTING LANDSCAPING TO REMAIN.
- 9. NEW PRECAST CONCRETE BLOCK RETAINING WALL.
- 10. NEW RAMP (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 11. EXISTING STAIRS TO REMAIN. (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 12. NEW LOOK OUT POINT (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 13. NEW 5" CONCRETE SIDEWALK.
- 14. EXISTING SIGN TO REMAIN.
- 15. EXISTING TRASH CAN TO REMAIN.
- 16. RELOCATED A/C UNIT.
- 17. EXISTING ASPHALT PAVEMENT TO BE SAWCUT FULL DEPTH FOR CLEAN CONSTRUCTION BREAK.
- 18. EXISTING A/C UNIT TO REMAIN.
- 19. NEW MULCH AREA (BY HOFFMAN ESTATES PARK DISTRICT). (6" MULCH PROVIDED BY PARK DISTRICT. EXCAVATOR SHALL LEAVE FINISHED GRADE 6" BELOW FINISHED GRADE WHERE THE PROPOSED MULCH WILL BE INSTALLED BY THE PARK DISTRICT).
- 20. EXISTING RETAINING WALL TO REMAIN.

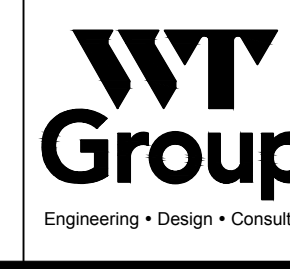
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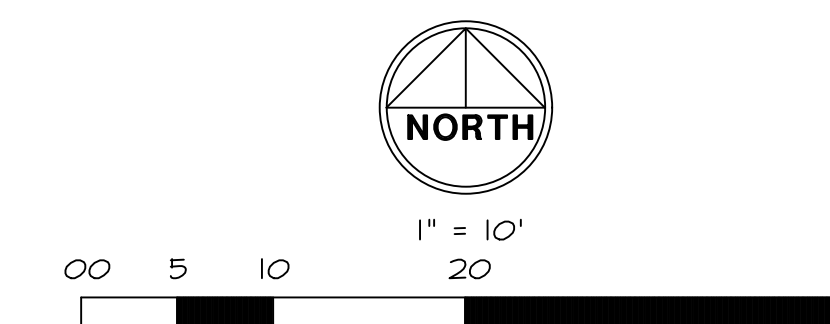
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 IL License No: 184.007570-0015 | Exp: 04.30.2023  
 IL C000000001 2021 THE WT GROUP, LLC



**EXISTING UTILITY DATA SITE GRADING NOTES:**

- 1 RIM=825.92' (STORM)  
48" CONCRETE STRUCTURE  
INV=821.23' (15" RCP NNE)  
INV=821.13' (18" RCP SSE)
- 2 RIM=830.57' (WATER)  
48" CONCRETE STRUCTURE  
824.23' AT TOP OF 4" DIP E  
824.30' AT TOP OF 6" DIP N/S
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48" CONCRETE STRUCTURE  
INV=824.05' (6" CLAY N)  
INV=825.49' (6" PVC S)
- 4 RIM=831.49' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=822.87' (6" CLAY N/S)

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL, AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESSES.
- C. CONTRACTOR SHALL CONTACT JULLIE (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.) SHALL MAINTAIN A MAXIMUM GROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
- J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LINES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.

**ALTERNATE #1 (DEDUCT)**

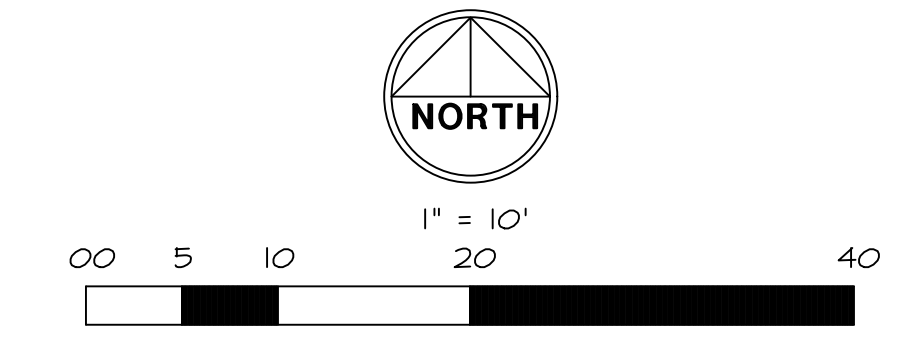
EXCLUDE ALL ON SITE EXCAVATION WITH THE EXCEPTION OF THE EXCAVATION NECESSARY FOR THE RETAINING WALL EXCAVATION. RETAINING WALL EXCAVATION SHALL INCLUDE EXCAVATION 10' ON EITHER SIDE OF THE PROPOSED WALL.

THIS EXCLUSION SHALL INCLUDE THE EXCAVATION NECESSARY FOR THE INSTALLATION OF THE PROPOSED SIDEWALKS.

**GRADING LEGEND**

- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- INTERPOLATED SPOT GRADE (VERIFY EXISTING GRADE ELEVATION)
- PROPOSED RIM ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- TP TOP OF PAVEMENT (SIDEWALK/ASPHALT PATH) ELEVATION
- TW TOP OF SIDEWALK ELEVATION
- FF FINISHED GRADE ELEVATION
- TC FINISHED FLOOR ELEVATION
- TWA TOP OF RETAINING WALL ELEVATION
- ADJUST FLOW LINE ELEVATION
- ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE WITH VAULT
- PROPOSED B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLOPLAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP

**NEW CONCRETE PAVEMENT**  
5" PORTLAND CEMENT CONCRETE  
4" CA-6



WT JOB NUMBER - D2100051

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Structural | Mechanical/Electrical/Plumbing  
Civil | Land Survey | Telecommunications/Aviation  
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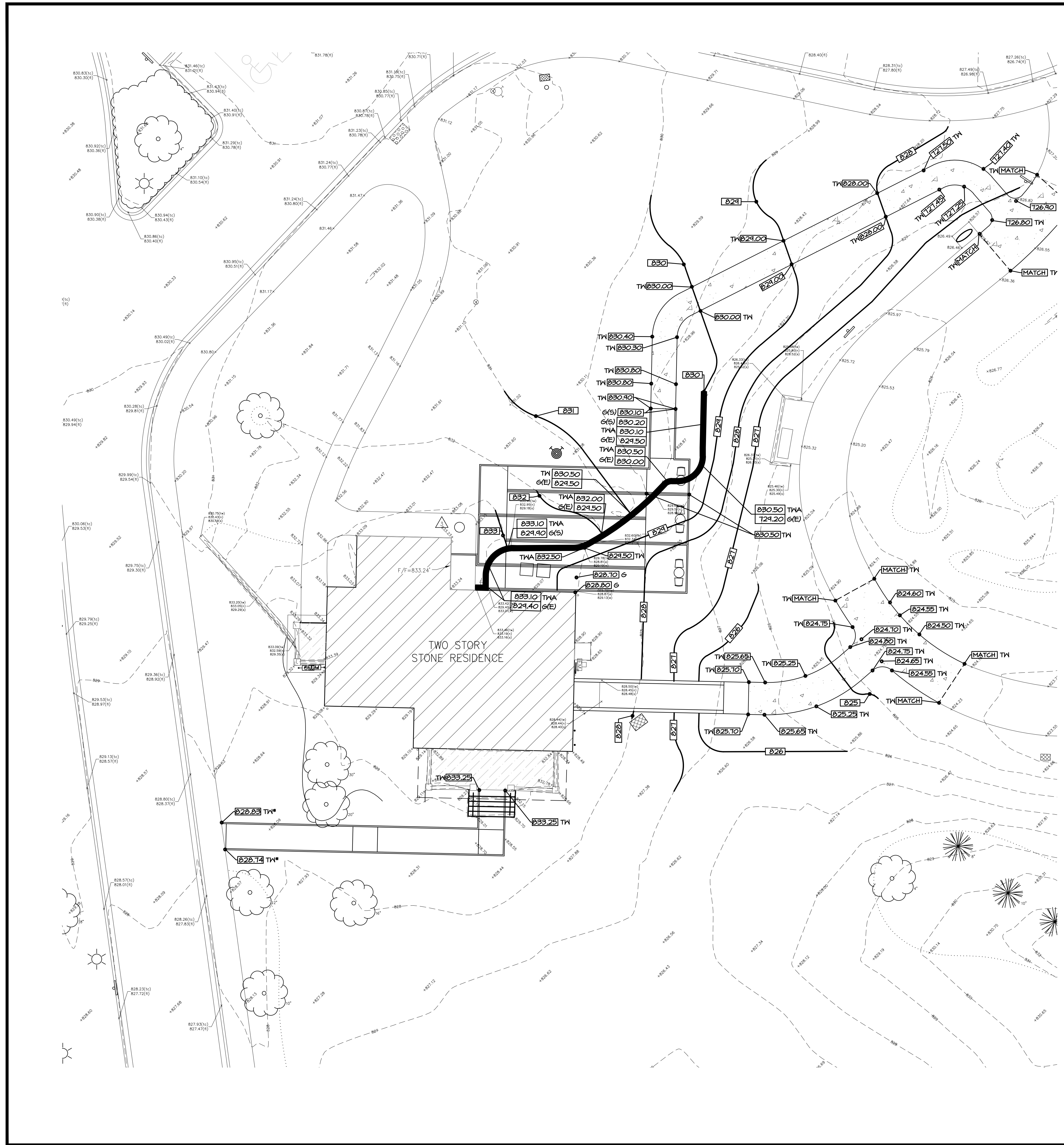
**API ARCHITECTS**  
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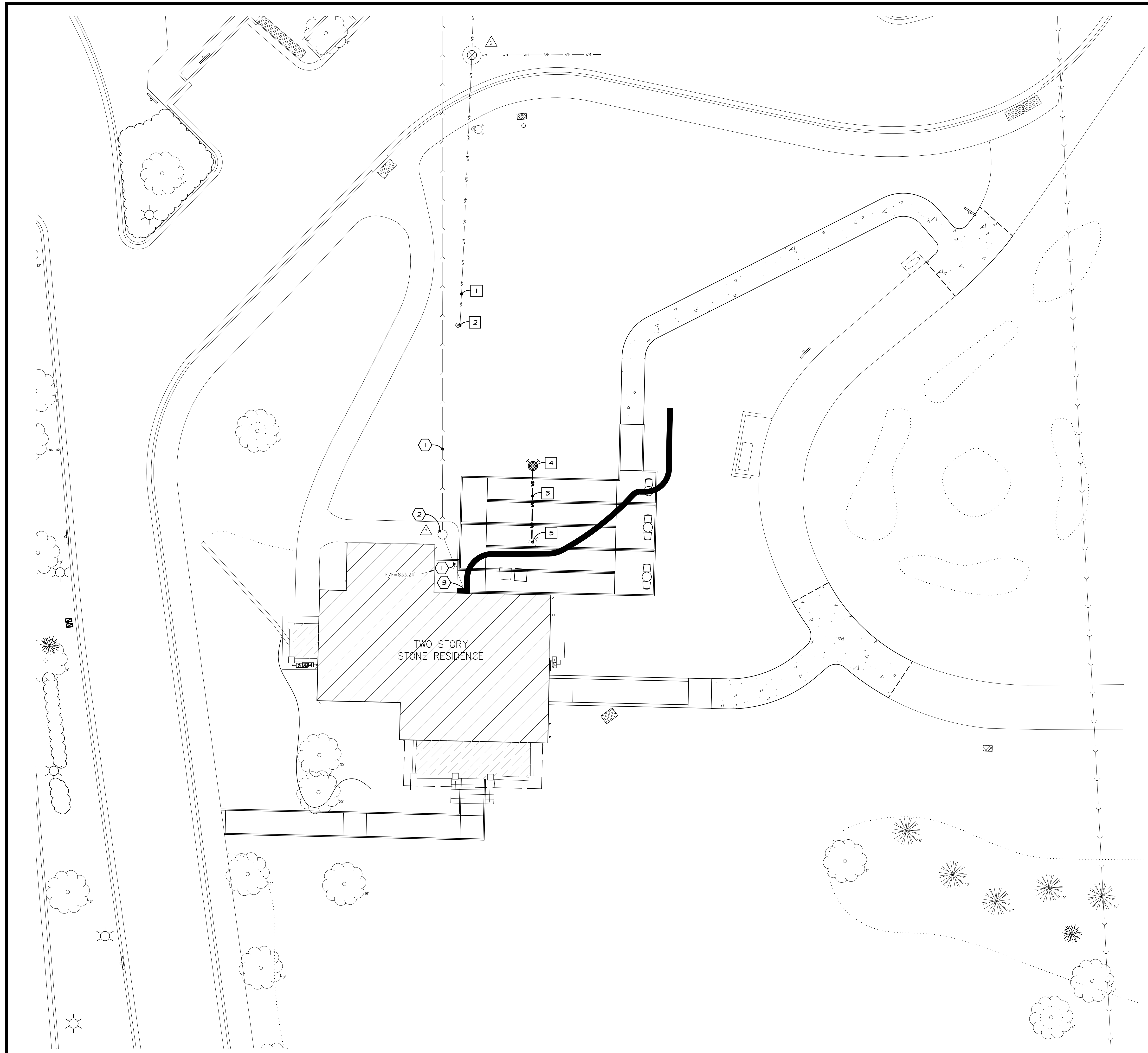
project no: D2100051  
date: 06.14.2021  
revision 1:  
revision 2:  
revision 3:  
revision 4:  
checked: CJ  
drawn: JB

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**HOFFMAN ESTATES PARK DISTRICT - VOGELI HOUSE REMODEL**  
650 WEST HIGGINS ROAD  
HOFFMAN ESTATES, IL 60169

WT GROUP  
**SITE GRADING PLAN**  
sheet number:  
**C-4.0**





**SITE UTILITY NOTES:**

- A. CONTRACTOR SHALL CONTACT JULLIE, (811 OR 1-800-842-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- B. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- C. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- H. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-449 AND SECTION 91-1.03 OF THE 'STANDARD SPECIFICATIONS'.
- I. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- J. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- K. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- L. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- M. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.

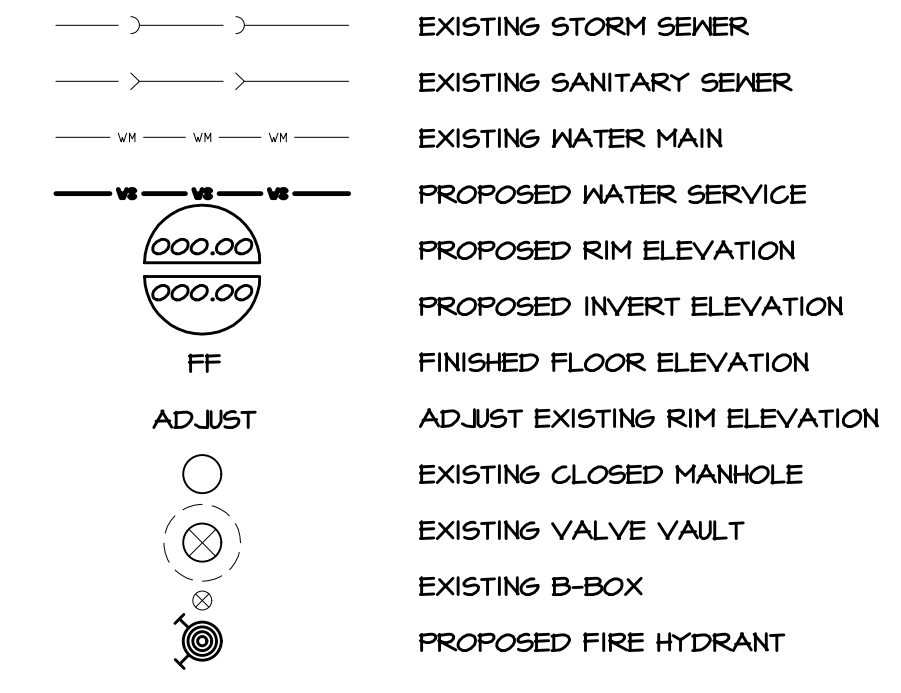
**PROJECT NOTES:**  
**SANITARY SEWER**

1. EXISTING SANITARY SEWER TO REMAIN.
2. EXISTING SANITARY STRUCTURE TO REMAIN.
3. EXISTING CLEANOUT TO REMAIN. USE CAUTION WHEN EXCAVATING FOR THE NEW RETAINING WALL.

**WATER**

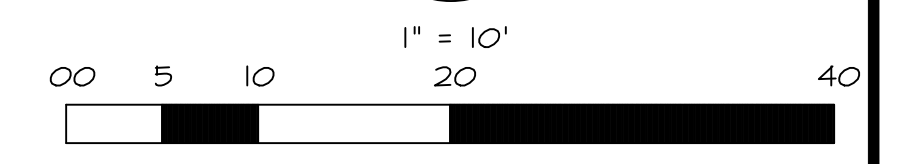
1. EXISTING WATERMAIN TO REMAIN. LOCATION SHOWN PER RECORDS, VERIFY LOCATION, SIZE, AND DEPTH IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
2. EXISTING B-BOX TO REMAIN.
3. NEW 6" CLASS 52 D.I.P. 20, L.F. FOR RELOCATION OF EXISTING FIRE DEPARTMENT CONNECTION. VERIFY SIZE OF PIPING PRIOR TO ORDERING PIPING TO ENSURE THAT THE EXISTING PIPING IS 6" CLASS 52 D.I.P. PROVIDE FITTINGS NECESSARY FOR RELOCATION.
4. NEW LOCATION OF EXISTING FIRE DEPARTMENT CONNECTION. CONTRACTOR SHALL COORDINATE ALL FIRE DEPARTMENT TESTING THAT IS NECESSARY.
5. REMOVE AND RELOCATE EXISTING EXTERNAL FIRE DEPARTMENT CONNECTION.

**UTILITY LEGEND**



**EXISTING UTILITY DATA**

- RIM=825.92' (STORM)  
48" CONCRETE STRUCTURE  
INV=821.23' (15" RCP NNE)  
INV=821.13' (18" RCP SSE)
- RIM=830.57' (WATER)  
48" CONCRETE STRUCTURE  
824.23' AT TOP OF 4" DIP E  
824.30' AT TOP OF 6" DIP N/S
- RIM=833.15' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=824.05' (6" CLAY N)  
INV=825.49' (6" PVC S)
- RIM=831.49' (SANITARY)  
48" CONCRETE STRUCTURE  
INV=822.87' (8" CLAY N/S)



WT JOB NUMBER - D2100051

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PROJECT NO. D2100051  
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 REVISION 3:  
 REVISION 4:  
 CHECKED: CH  
 DRAWN: JB

OFFICE: 924.262.1942  
 PROJECT NO. D2100051  
 DATE: 06.14.2021  
 REVISION 1:  
 REVISION 2:  
 REVISION 3:  
 REVISION 4:  
 CHECKED: CH  
 DRAWN: JB  
 WT JOB NUMBER - D2100051  
**HOFFMAN ESTATES PARK DISTRICT - VOGELI HOUSE REMODEL**  
**650 WEST HIGGINS ROAD**  
**HOFFMAN ESTATES, IL 60169**

SHEET NO. **C-5.0**  
 SHEET TITLE: **SITE UTILITY PLAN**

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**EXISTING UTILITY DATA**

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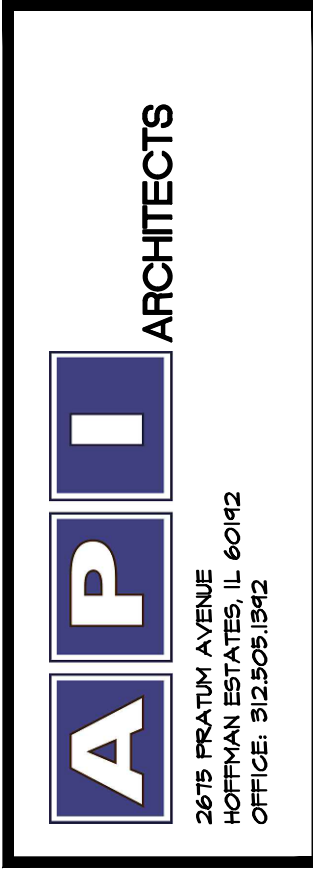
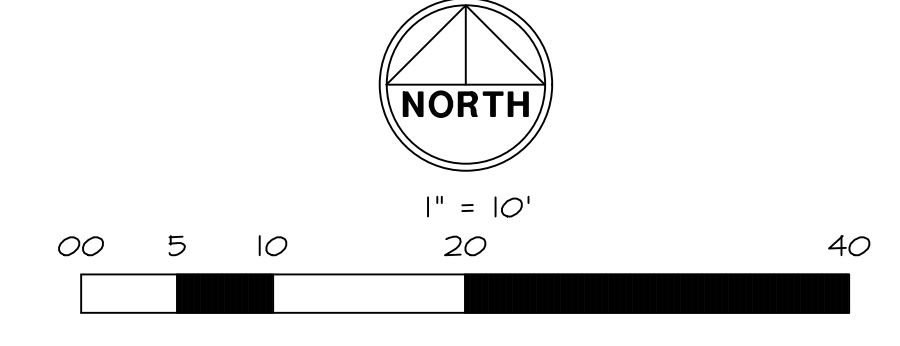
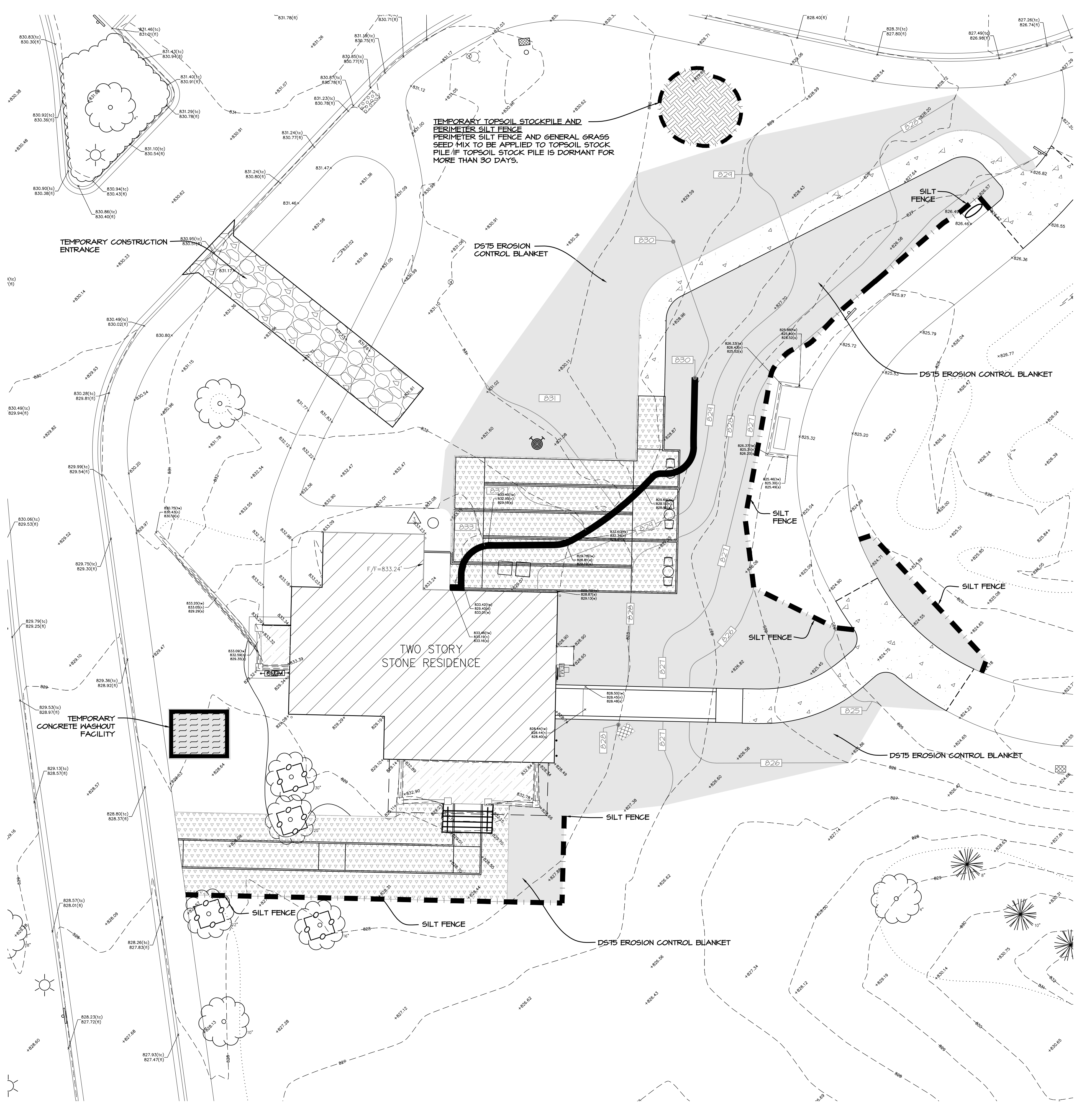
**SWPPP NOTES:**

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
- D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE PROHIBITED.
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOD.
- I. CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- J. SEED BED PREPARATION:
  - JA. ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
  - JB. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
  - JC. THE AREA SHALL BE FINE GRADED.
  - JD. THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
  - JE. BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
  - JF. SEEDBED AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOYED.
  - JG. ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
  - JH. THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.

**SWPPP LEGEND**

- +000.00 EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- OVERLAND FLOW ARROW
- 100 YEAR OVERLAND FLOW ROUTE
- EMERGENCY OVERFLOW ARROW
- ADJUST ADJUST EXISTING RIM ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING OPEN GRATE MANHOLE
- EXISTING BEEHIVE GRATE MANHOLE
- EXISTING CURB INLET
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING VALVE VAULT
- EXISTING B-BOX
- PROPOSED FIRE HYDRANT
- PROPOSED VALVE WITH VAULT
- PROPOSED B-BOX
- PROPOSED INLET
- PROPOSED OPEN LID MANHOLE / CATCH BASIN
- PROPOSED CLOSED LID MANHOLE
- PROPOSED RESTRICTOR STRUCTURE
- PROPOSED NYLOPLAST DRAIN BASIN
- PROPOSED FLARED END SECTION
- PROPOSED GREASE TRAP
- SILT FENCE
- FLEXSTORM CATCH-IT INLET PROTECTION
- SILT FENCE INLET PROTECTION WITH STONE COLLAR
- RIP RAP
- FINE GRADE, FERTILIZE, AND SEED, INSTALL D5T5 EROSION CONTROL BLANKET WITH 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TEMPORARY CONCRETE WASHOUT FACILITY
- ROOT ZONE TREE PROTECTION

NOTE: THE OWNER SHALL BE RESPONSIBLE FOR ALL RESTORATION AND EROSION CONTROL.



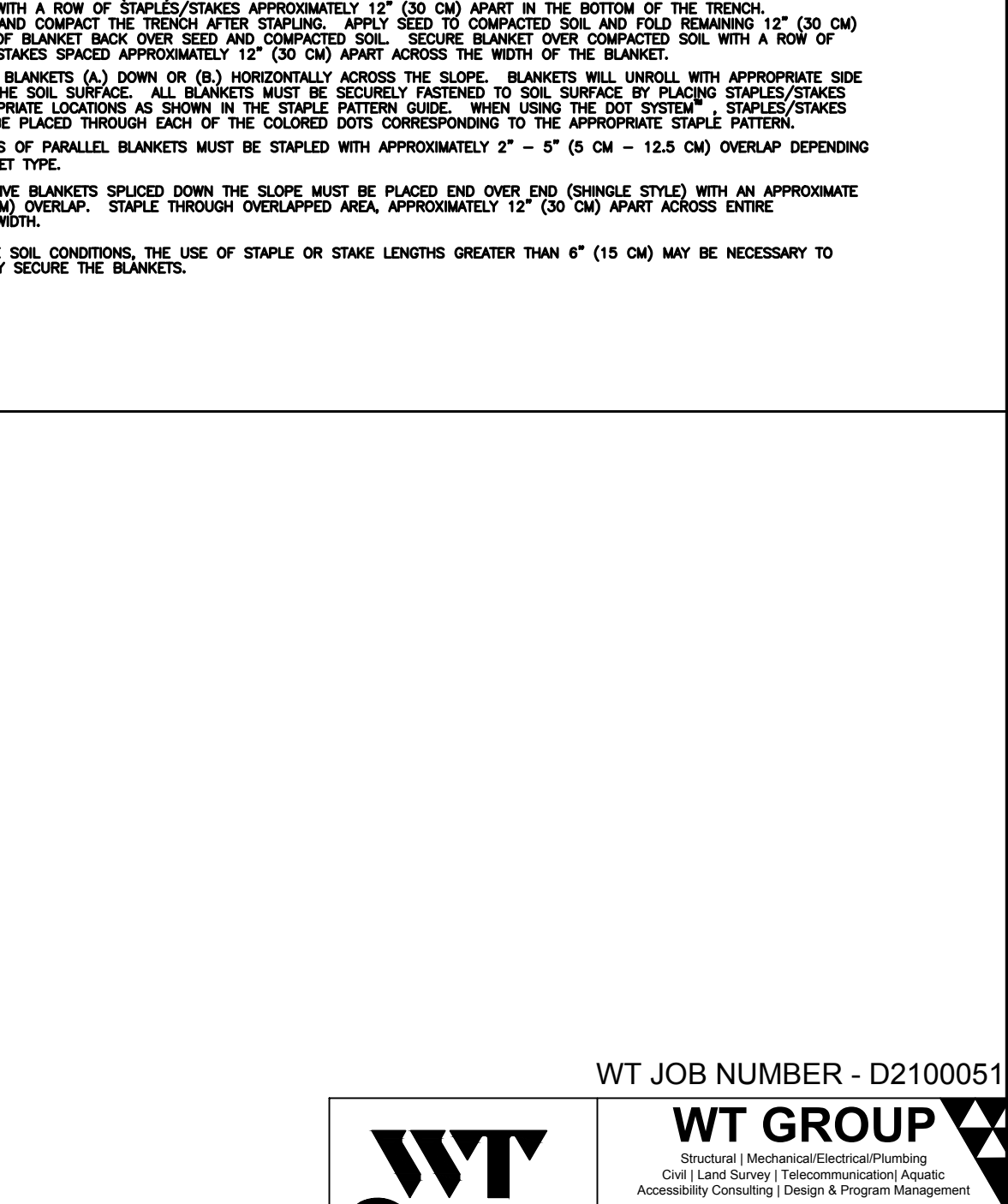
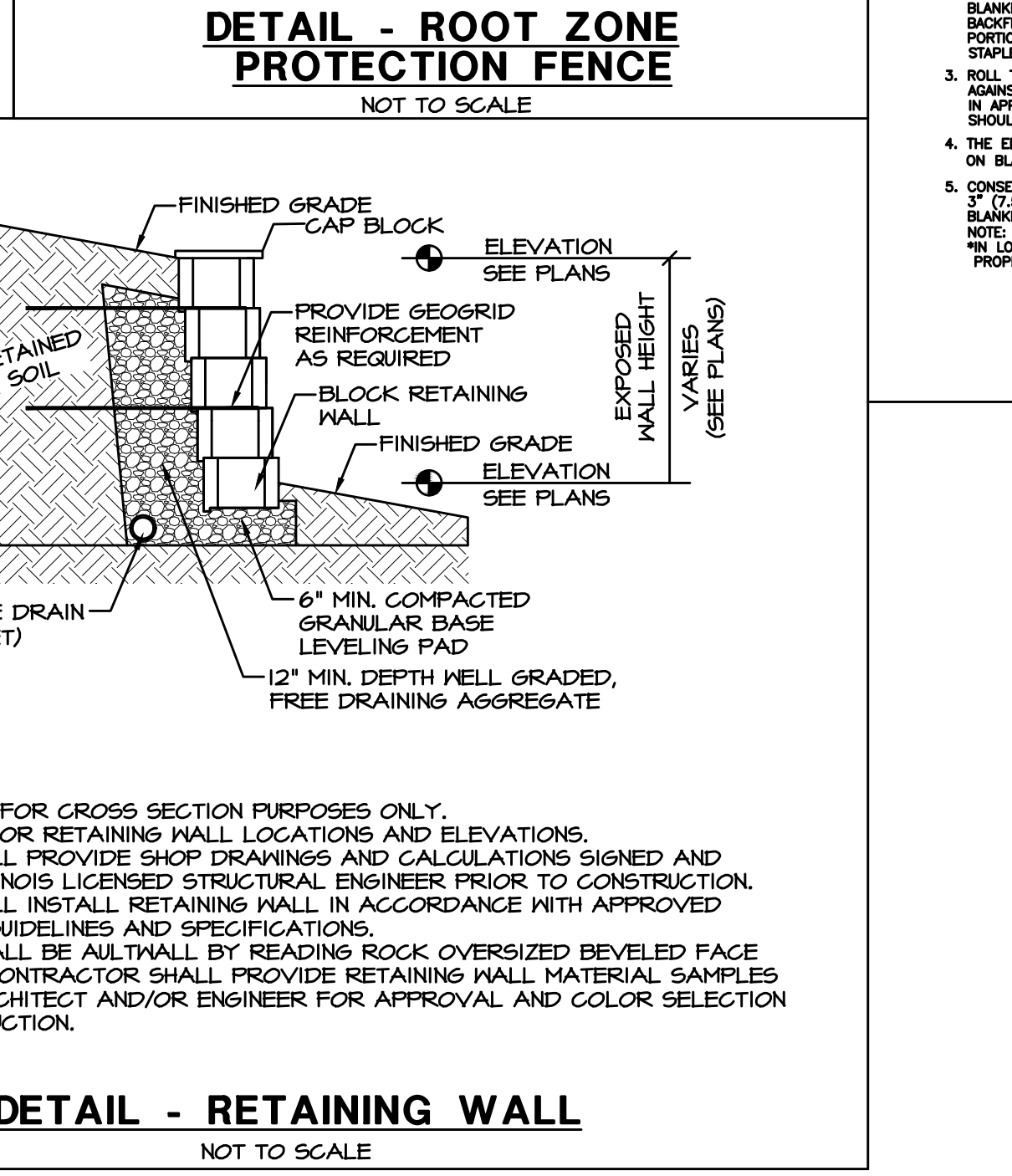
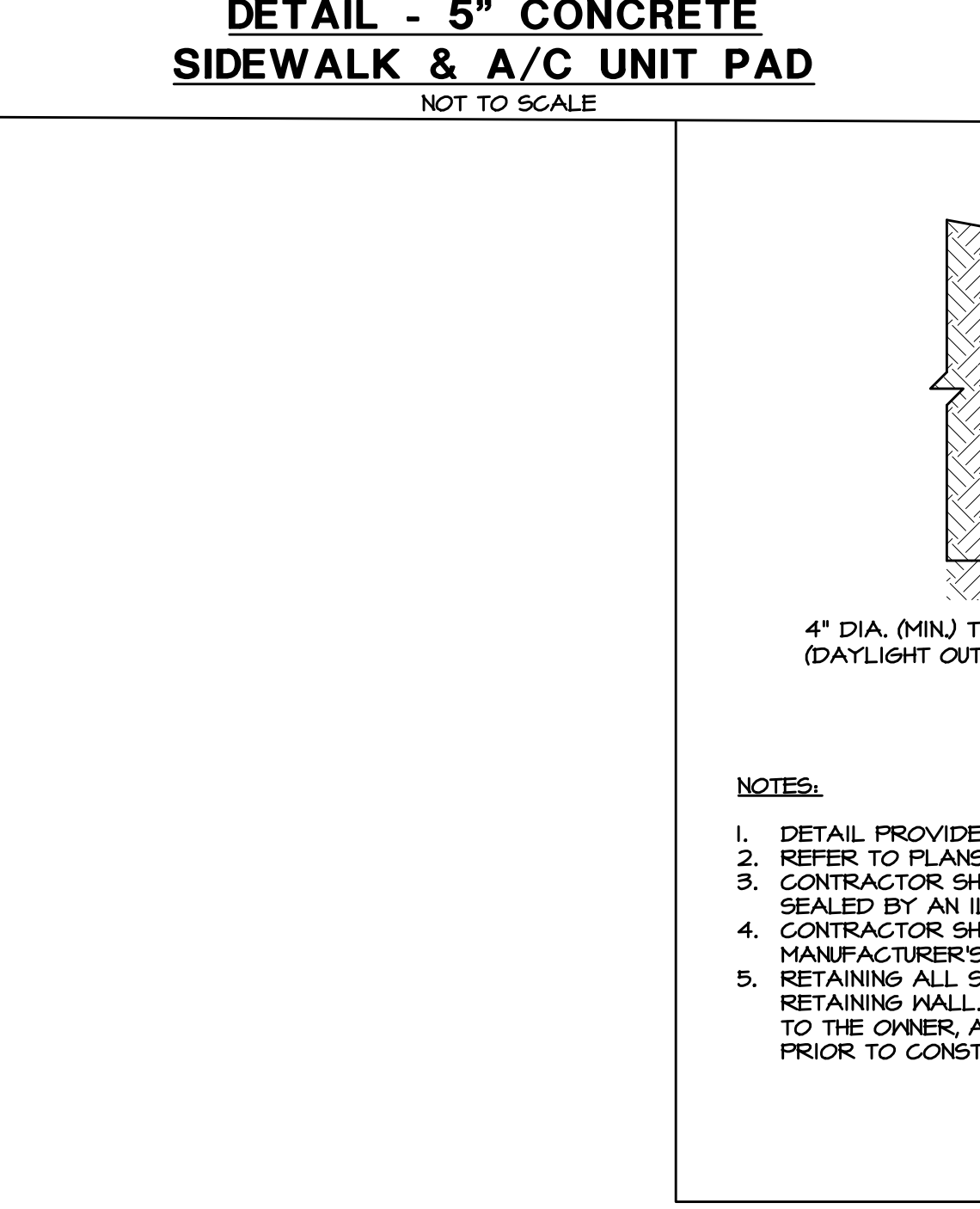
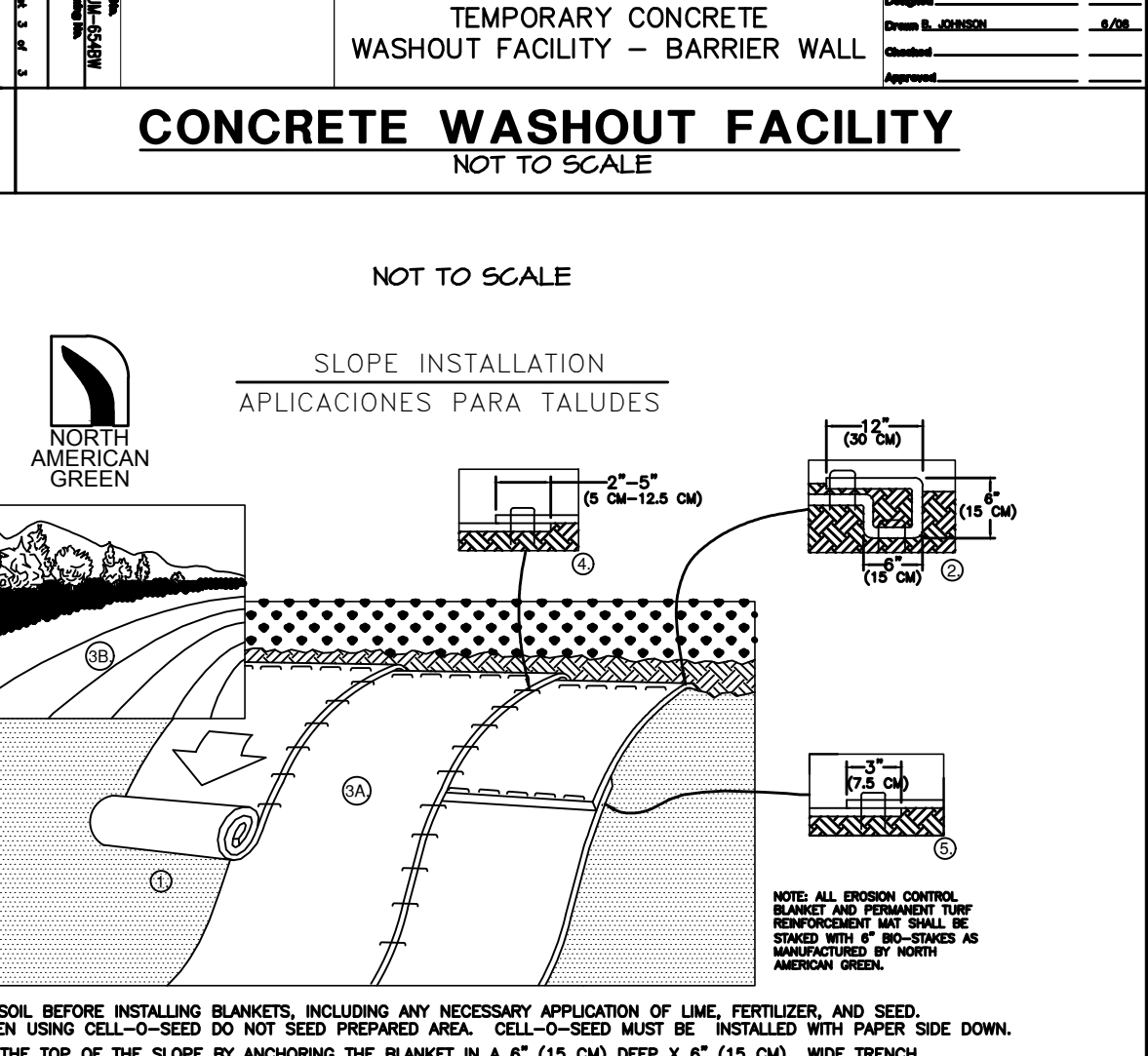
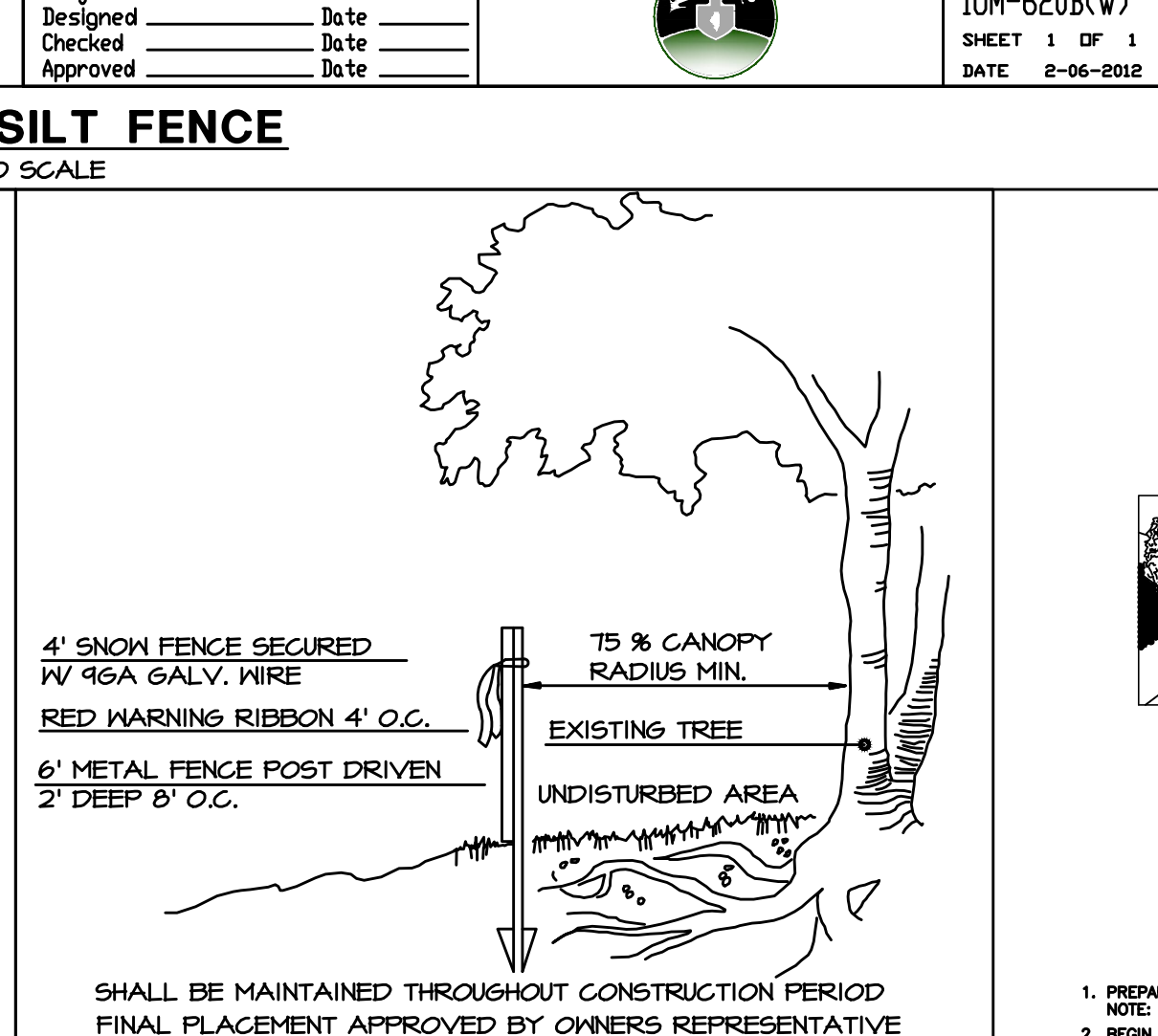
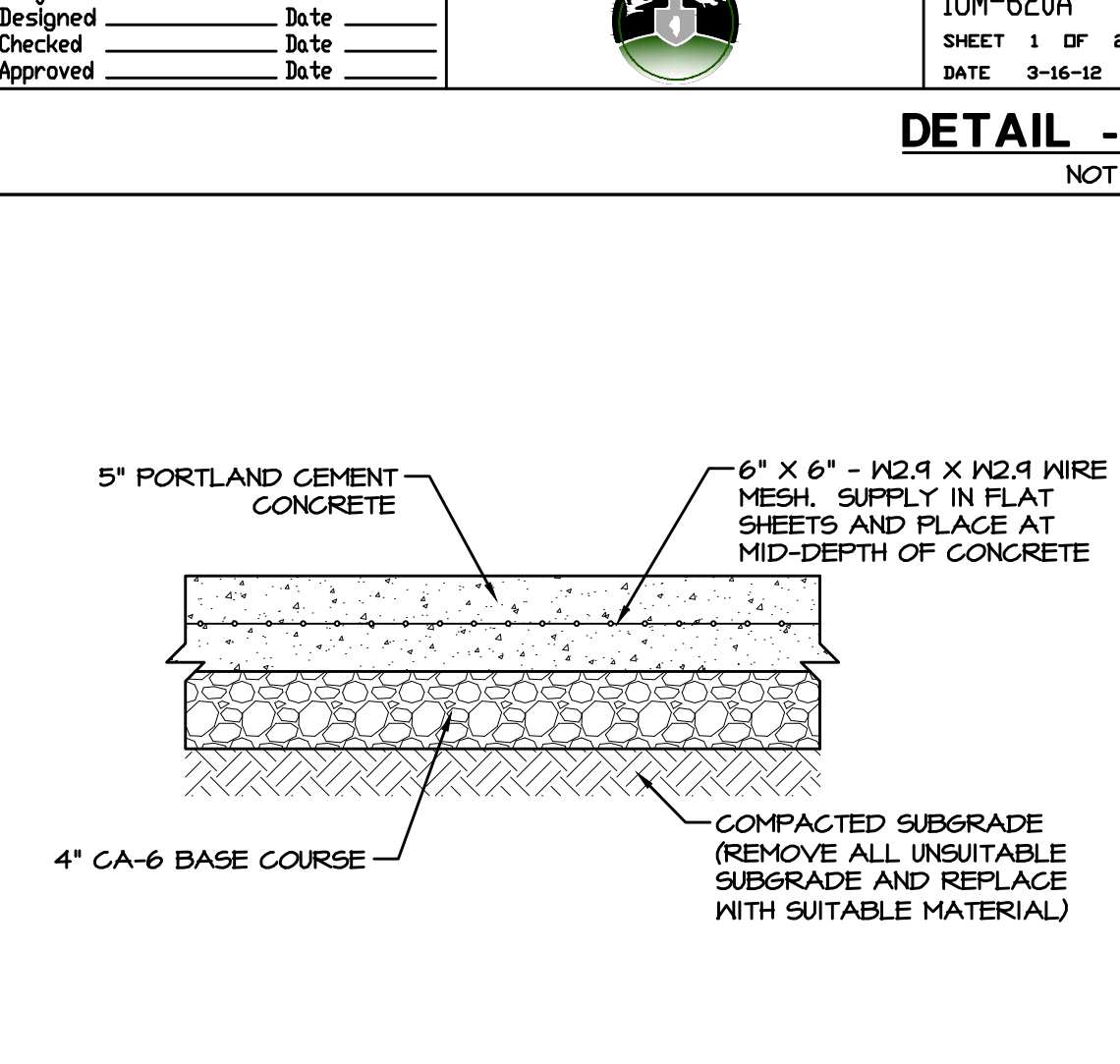
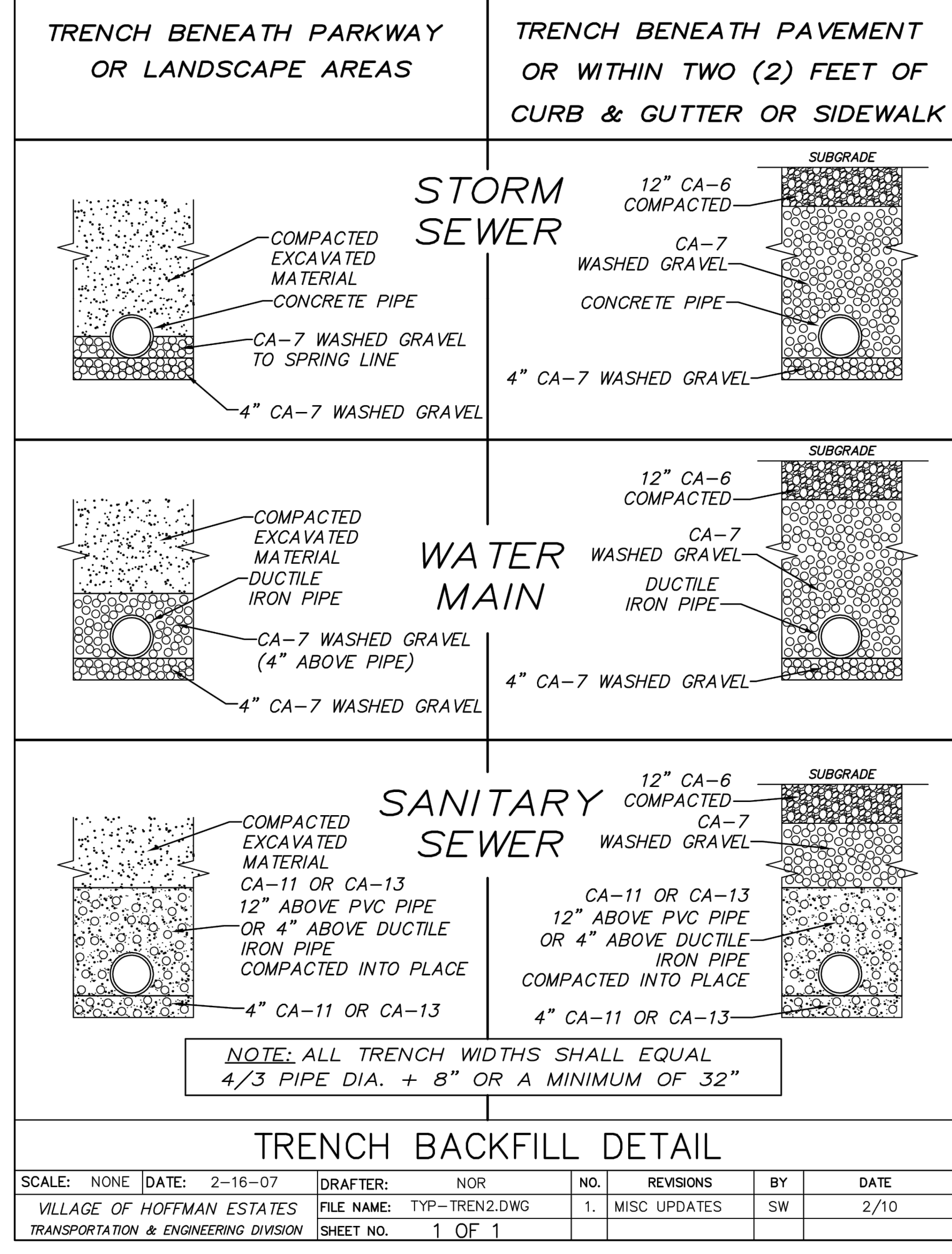
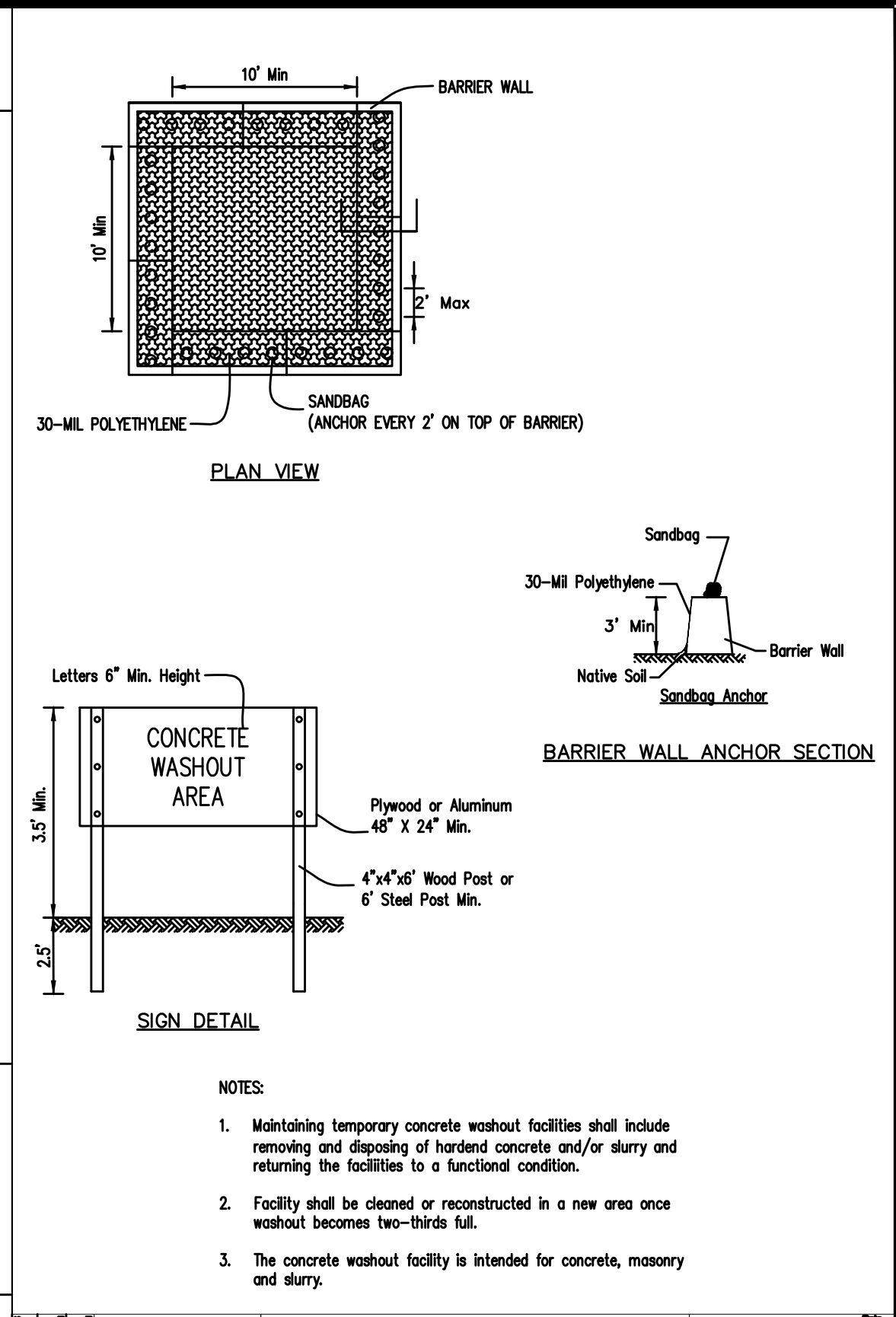
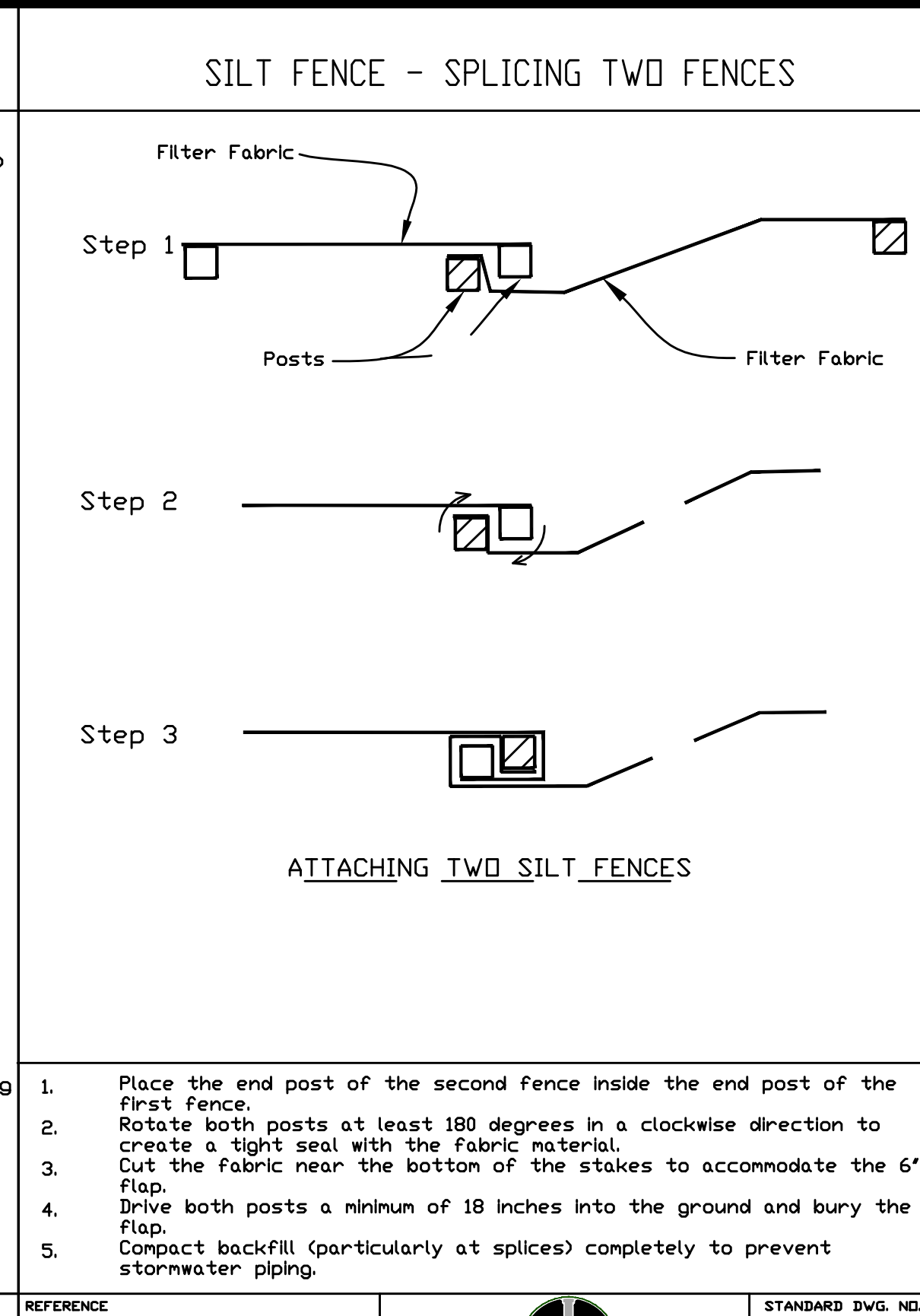
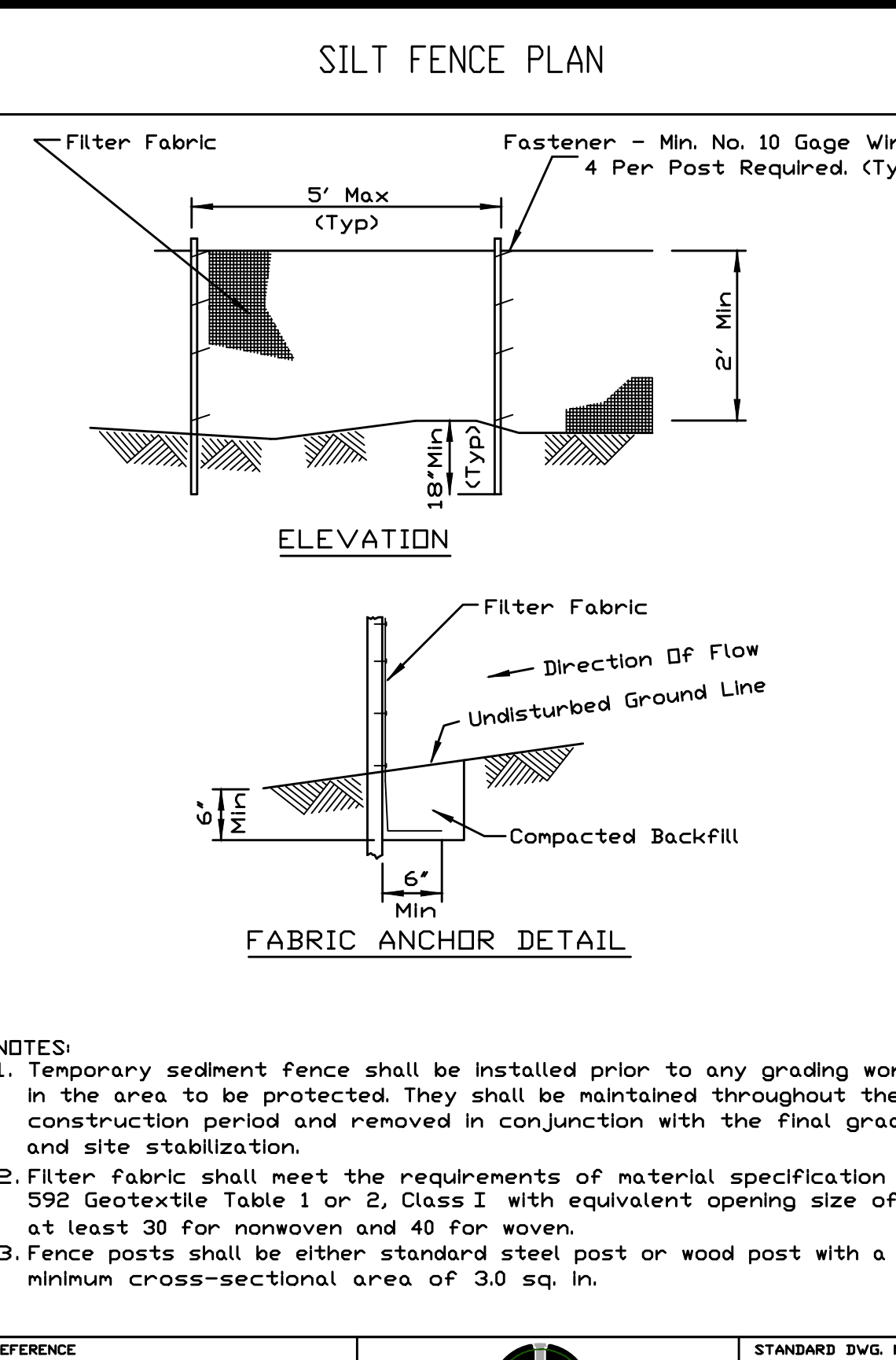
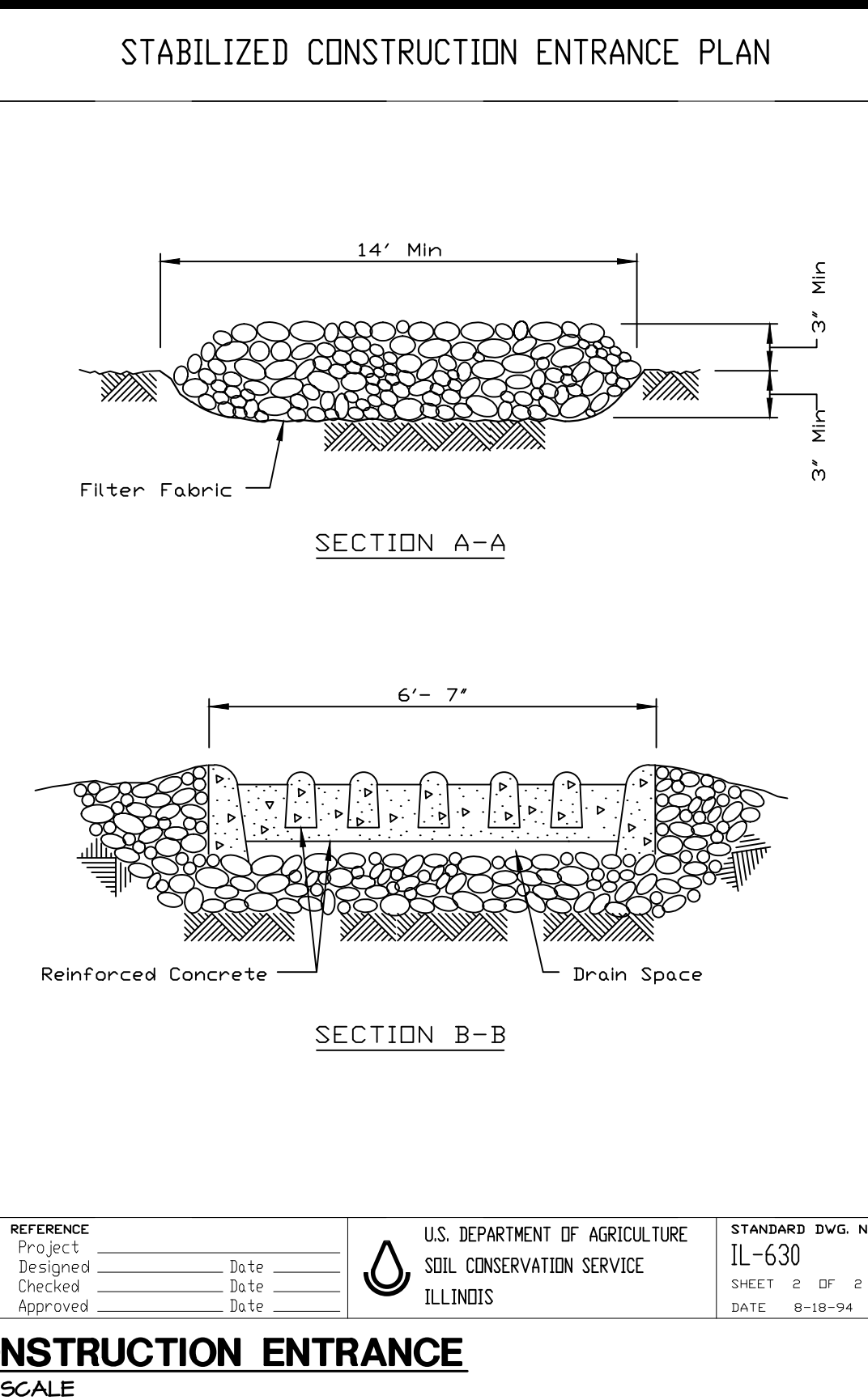
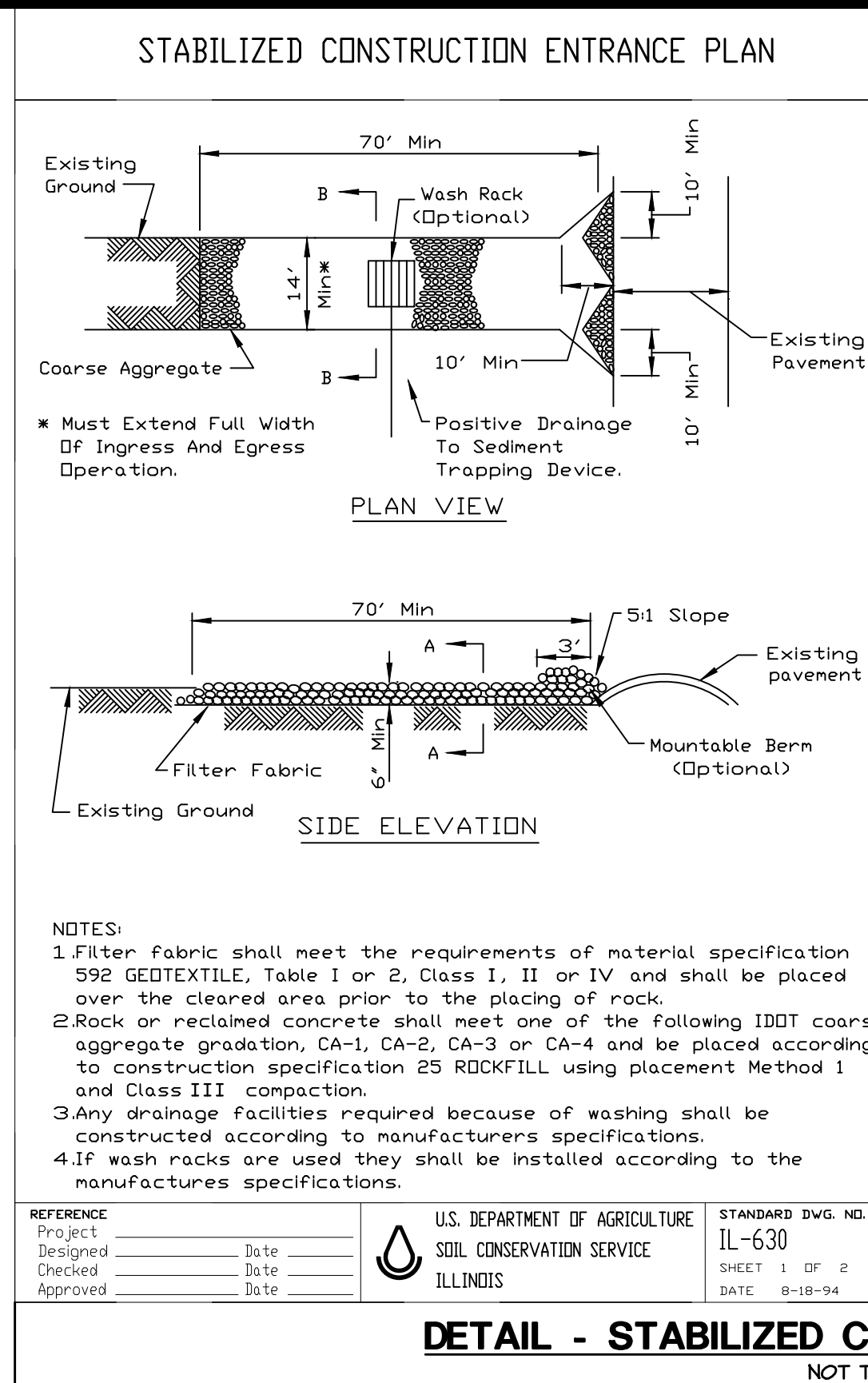
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**650 WEST HIGGINS ROAD**  
**HOFFMAN ESTATES, IL 60169**

project no: D2100051  
 date: 06.14.2021  
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 revision 3:  
 revision 4:  
 checked: CM  
 drawn: JB

sheet title:  
**STORM WATER POLLUTION PREVENTION PLAN**  
 sheet number:  
**C-6.0**

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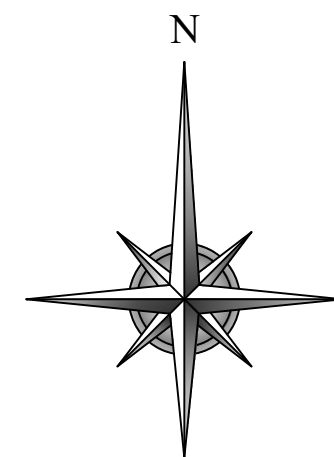
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VILLAGE OF HOFFMAN ESTATES TRANSPORTATION & ENGINEERING DIVISION					
FILE NAME: TYP-TREN2.DWG		SHEET NO. 1 OF 1			

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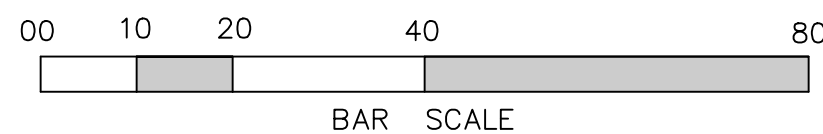




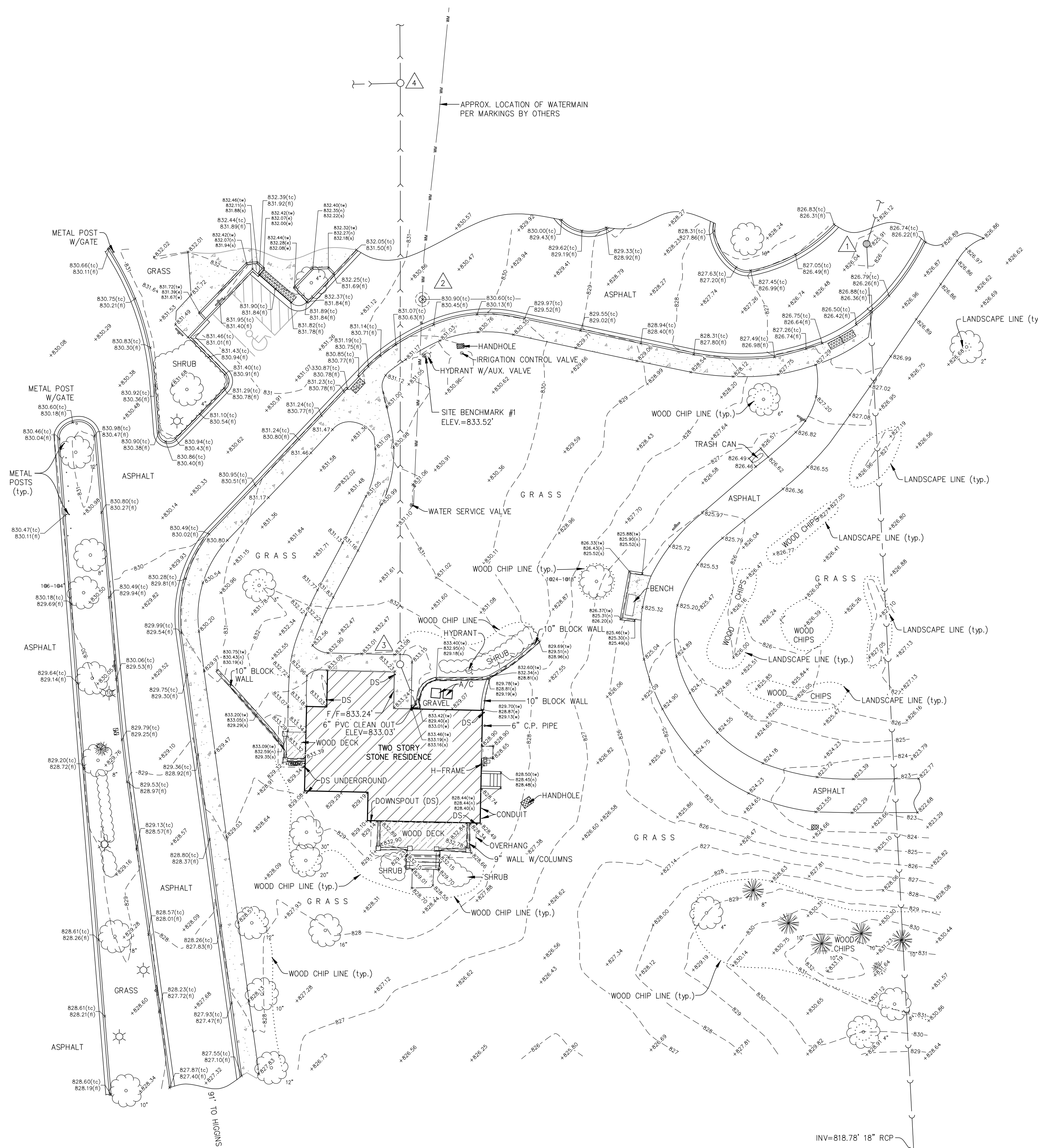
# TOPOGRAPHIC SURVEY



SCALE: 1" = 20'



LOCATION MAP



- 1 RIM=825.92' (STORM)  
48" CONCRETE STRUCTURE  
INV=821.23' (15" RCP NNE)  
INV=821.13' (18" RCP SSE)
- 2 RIM=830.57' (WATER)  
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48" CONCRETE STRUCTURE  
INV=822.87' (8" CLAY N/S)

LEGEND	
—	PROPERTY LINE
—	CENTER LINE
- - -	EASEMENT LINE
—	BUILDING SETBACK
(XXX)	RECORD DATA
XXX	TOP OF (CONCRETE, ETC.)
XXX.X	SPOT GRADE
XXX.XX	BOTTOM OF (GRAVEL, GUTTER/ETS)
■	CONCRETE
■	EVERGREEN/DECIDUOUS
■	SHRUB/SHRUB LINE
○	MONITOR WELL
○	UTILITY MARKINGS (cable, elec, fiber)
○	MALBOX
T/F	TOP FOUNDATION/THRESHOLD
1/1	TYPICAL SIGN
○	FLARED END SECTION
○	CLOSED MANHOLE
○	OPEN GRATE MANHOLE
○	BEEHIVE GRATE MANHOLE
○	GUTTER FRAME MANHOLE
○	VALVE VAULT
○	FIRE HYDRANT
○	B-BOX / SERVICE VALVE
○	POST LIGHT/GROUND LIGHT
○	AREA LIGHT/LIGHT POLE
○	STREET LIGHT
○	TRAFFIC SIGNAL
○	MAST ARM SIGNAL
○	HANDHOLE (electric/traffic)
○	SOIL BORING
○	TEL/ELEC MANHOLE
○	UTILITY POLE
○	GUYP WIRE ANCHOR
○	CONTOUR LINE
○	TREE LINE / HEDGE LINE
○	EDGE GRAVEL/STONE
○	FENCE LINE
○	STORM SEWER
○	SANITARY SEWER
○	COMBO SEWER
○	WATER SERVICE LINE
○	WATER MAIN
○	OVERHEAD LINE
○	FIBER OPTIC LINE
○	GAS LINE
○	U.G. TELCO LINE
○	U.G. ELECTRIC LINE

- NOTES:
1. SITE BENCHMARK — WEST BOLT ON HYDRANT, 94' NE OF THE NORTHWESTLY MOST BUILDING CORNER AS SHOWN. ELEVATION=833.52' (NAVD88)
  2. THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
  3. FIELD WORK COMPLETED ON APRIL 14TH, 2021.
  4. SURVEY PREPARED FOR: HOFFMAN ESTATES PARK DISTRICT.
  5. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

STATE OF ILLINOIS )  
                                  ) SS  
COUNTY OF COOK )

WE THE W-T GROUP DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS 22ND DAY OF APRIL 2021 AT HOFFMAN ESTATES, ILLINOIS.

THE W-T GROUP, LLC

*Franjo L. Matovic*  
FRANJO L. MATOVIC — PLS #035-003556 EXPIRES 11/30/2022  
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015



AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

**WT GROUP**  
 Engineering with Precision, Pace and Passion.  
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**WT Group**  
 Engineering • Design • Consulting

**VOGELEI PARK**  
 650 WEST HIGGINS ROAD  
 HOFFMAN ESTATES, ILLINOIS

ISSUE  
 TO DATE  
 CLIENT 4/22/21

CHECK-FIM  
 DRAWN-REM  
 JOB: D2100051

**SUR-1**  
 SHEET 1 OF 1  
 TOPOGRAPHIC SURVEY