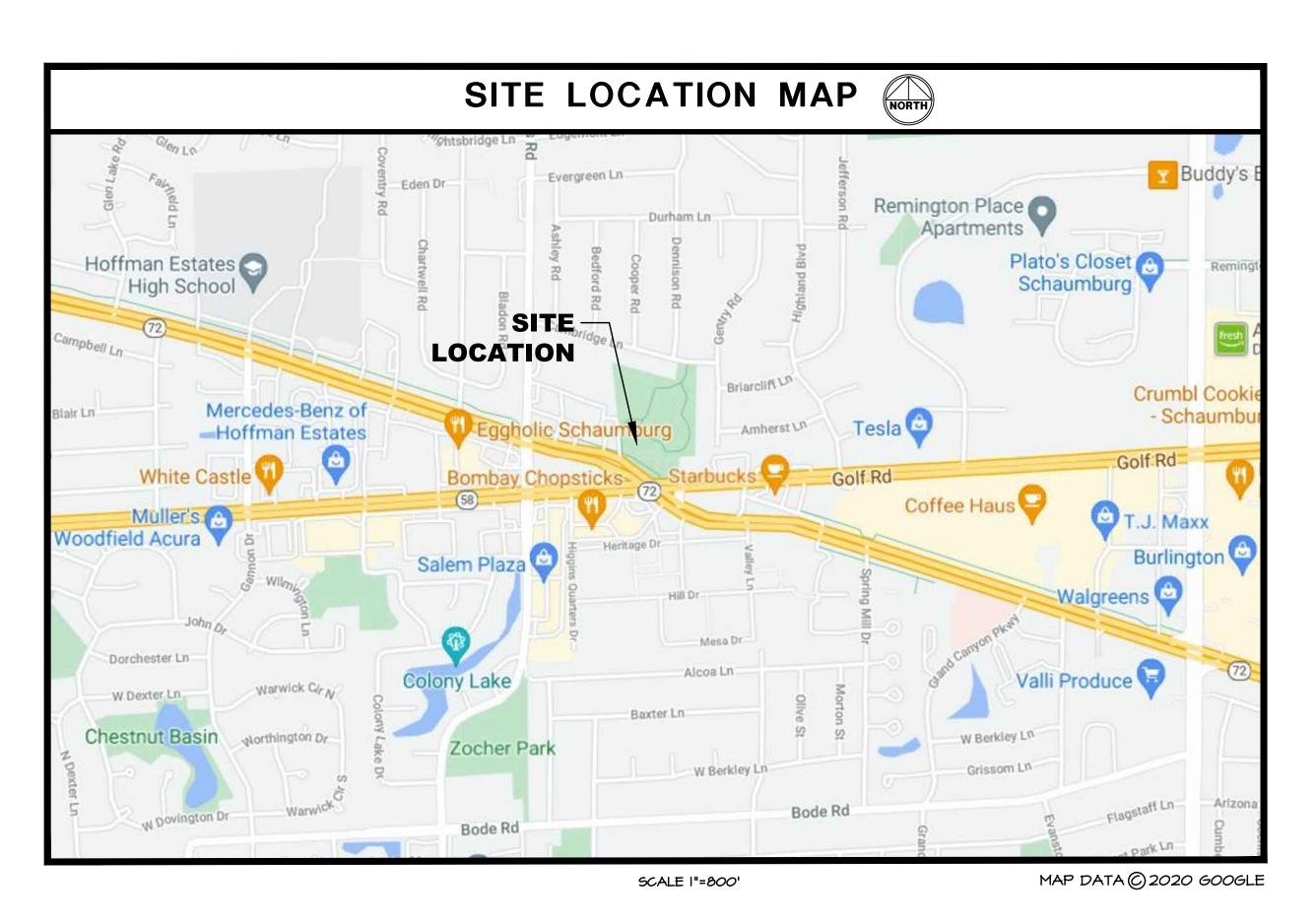
# HOFFMAN ESTATES PARK DISTRICT VOGELEI HOUSE REMODEL

## 650 WEST HIGGINS ROAD HOFFMAN ESTATES, IL 60169

CIVIL DRAWING INDEX		
SHEET	DESCRIPTION	DATE
T-1.0	TITLE SHEET	07-23-21
C-1.0	SITE DEMOLITION PLAN	07-23-21
C-2.0	SITE GEOMETRIC PLAN	07-23-21
C-3.0	SITE DEVELOPMENT PLAN	07-23-21
C-4.0	SITE GRADING PLAN	07-23-21
C-5.0	SITE UTILITY PLAN	07-23-21
C-6.0	STORM WATER POLLUTION PREVENTION PLAN	07-23-21
C-7.0	CONSTRUCTION DETAILS	07-23-21
C-8.0	PROJECT SPECIFICATIONS	07-23-21
SUR-1	TOPOGRAPHIC SURVEY	04-22-21

#### **BENCHMARKS:**

SITE BENCHMARK #I - WEST BOLT ON HYDRANT, 94' NE OF THE NORTHWESTERLY MOST BUILDING CORNER AS SHOWN. ELEVATION=833.52' (NAVD88)



**SECTION 14 TOWNSHIP 41N RANGE 10E** 

**LEGEND** STORM SEWER

#### CIVIL ENGINEERING STATEMENT AND SEAL

TODD ABRAMS - ILLINOIS P.E. # 062-061600 DATE OF EXPIRATION - NOVEMBER 30, 2021



#### DRAINAGE CERTIFICATE:

WILL NOT BE CHANGED BY THE PROPOSED DEVELOPMENT. IF ANY DRAINAGE PATTERNS WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR TH DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGES TO

DATED THIS 9th DAY OF JULY, 2021

062-061600 EXP. DATE 11/30/21 DESIGN ENGINEER- TODD ABRAMS, P.E.



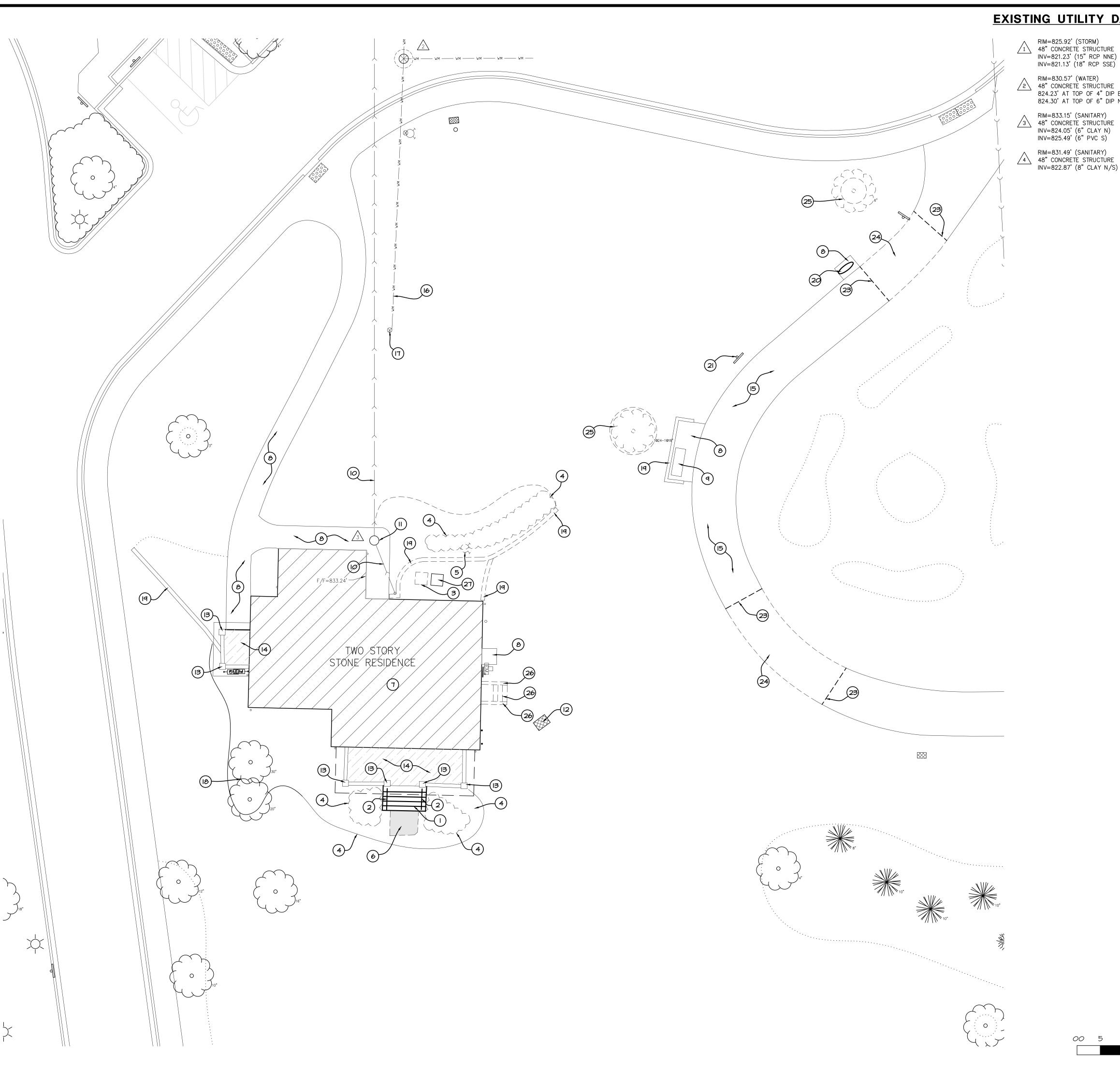
CALL JULIE TOLL FREE 1(800)892-0123 OPERATES 24 HOURS A DAY 365 DAYS A YEAR

CALL 1(800)892-0123 48 HOURS BEFORE

CONTRACTOR MUST LOCATE PRIVATE UTILITIES IN AREA OF CONSTRUCTION PRIOR TO PROCEEDING WITH WORK

WT JOB NUMBER - D210005 WT GROUP \ Structural I Mechanical/Electrical/Plumbing Civil | Land Survey | Telecommunication | Aquatic
Accessibility Consulting | Design & Program Management Engineering with Precision, Pace & Passion. 5 Pratum Avenue | Hoffman Estates, IL 60192 P: 224.293.6333 | F: 224.293.6444 IL License No: 184.007570-0015 | Exp: 04.30.2023

PARK ROAD



#### **EXISTING UTILITY DATA SITE DEMOLITION NOTES:**

RIM=825.92' (STORM) 48" CONCRETE STRUCTURE INV=821.23' (15" RCP NNE)

> RIM=830.57' (WATER) 48" CONCRETE STRUCTURE 824.23' AT TOP OF 4" DIP E 824.30' AT TOP OF 6" DIP N/S

RIM=833.15' (SANITARY) 48" CONCRETE STRUCTURE INV=824.05' (6" CLAY N)

RIM=831.49' (SANITARY)

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND
- TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION. C. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE
- SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT. D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR
- DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR
- WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT. F. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAYEMENT OR WALKS,
- CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- I. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED. J. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS. K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS
- NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS. L. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE
- REMOVED AND LEGALLY DISPOSED OF OFFSITE. M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED

BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO

- COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT. N. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE
- TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- O. SEE SHEET SUR-I TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA. P. CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE
- FOR THE DURATION OF CONSTRUCTION. R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS
- ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG
- (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS. T. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

#### **PROJECT NOTES:**

- EXISTING STAIRS TO REMAIN.
- 2. EXISTING RAILING TO BE REMOVED.
- 3. EXISTING A/C UNIT TO BE REMOVED AND RELOCATED.
- 4. EXISTING LANDSCAPING TO BE REMOVED.
- 5. EXISTING FIRE DEPARTMENT CONNECTION TO BE REMOVED AND RELOCATED. REFER TO THE SITE UTILITY PLAN FOR THE NEW LOCATION OF THE FIRE DEPARTMENT CONNECTION.
- 6. EXISTING CONCRETE SIDEWALK TO BE REMOVED. . EXISTING BUILDING TO REMAIN.
- 8. EXISTING CONCRETE SIDEWALK TO REMAIN. 9. EXISTING BENCH TO REMAIN.
- IO. EXISTING SANITARY SEWER TO REMAIN. II. EXISTING SANITARY STRUCTURE TO REMAIN.
- 12. EXISTING HANDHOLE TO REMAINUSE CAUTION WHEN EXCAVATING NEAR THE EXISTING HAND HOLE.
- 13. EXISTING COLUMNS TO REMAIN. 14. EXISTING WOOD PORCH TO REMAIN.
- 15. EXISTING ASPHALT PAVEMENT TO REMAIN.
- 16. EXISTING WATER MAIN TO REMAIN. 17. EXISTING WATER B-BOX TO REMAIN
- 18. EXISTING LANDSCAPING TO REMAIN. 19. EXISTING RETAINING WALL TO BE REMYOED
- 20. EXISTING TRASH CAN TO REMAIN. 21. EXISTING SIGN TO REMAIN.

\_\_\_\_\_ vs \_\_\_\_ vs \_\_\_\_

- 22. EXISTING PATIO SLAB TO BE ADJUSTED. SEE ARCHITECTURAL PLANS FOR DETAILS. 23. SAWCUT EXISTING ASPHALT PAVEMENT FULL DEPTH FOR CLEAN CONSTRUCTION
- 24. EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH FOR THE INSTALLATION OF NEW 4" CA-6 SUBBASE AND 5" THICK CONCRETE SIDEWALK.
- 25. EXISTING TREE TO BE REMOVED.
- 26. EXISTING CONCRETE STAIRS, CONCRETE WALL, AND RAILINGS TO BE REMOVED. 27. EXISTING A/C UNIT TO REMAIN.

#### **DEMOLITION LEGEND**

— )—— )—— EXISTING STORM SEWER EXISTING SANITARY SEWER

EXISTING COMBINATION SEWER EXISTING WATER MAIN EXISTING WATER SERVICE

EXISTING GAS LINE ——— GAS ——— GAS ———

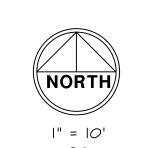
EXISTING UNDERGROUND ELECTRIC LINE EXISTING UNDERGROUND TELCO LINE EXISTING OVERHEAD LINES ----- OHL ----- OHL -----

EXISTING CLOSED MANHOLE EXISTING OPEN GRATE MANHOLE

EXISTING BEEHIVE GRATE MANHOLE EXISTING CURB INLET EXISTING FIRE HYDRANT

EXISTING VALVE VAULT EXISTING B-BOX

> EXISTING GAS VALVE EXISTING CONCRETE PAVEMENT TO BE REMOVED FULL DEPTH

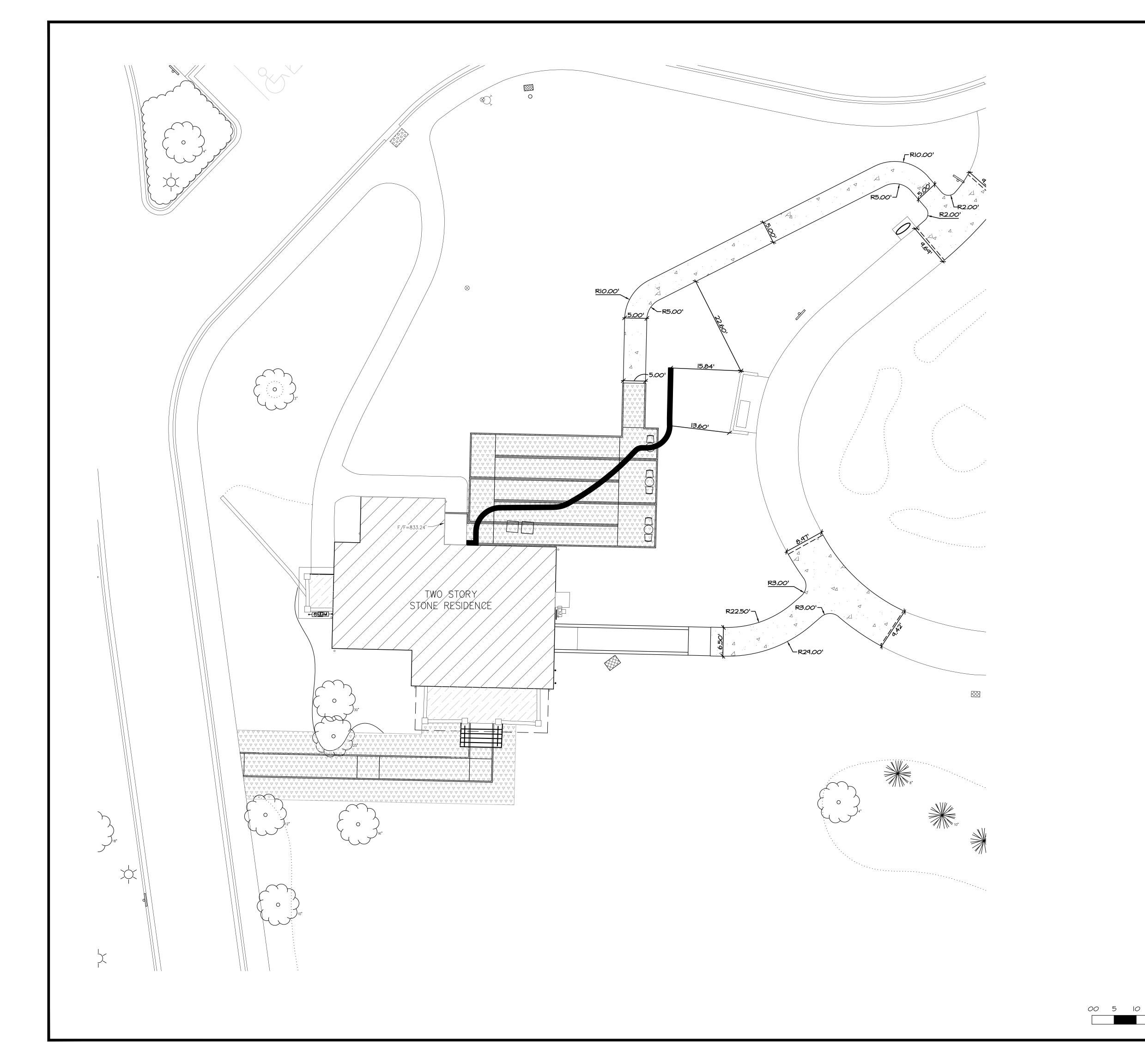


WT JOB NUMBER - D210005 WT GROUP **W** Accessibility Consulting | Design & Program Managem Engineering with Precision, Pace & Passion. 5 Pratum Avenue | Hoffman Estates, IL 60192 P: 224.293.6333 | F: 224.293.6444

Expires: November 30, 2

80

SITE DEMOLITION



#### **SITE GEOMETRIC NOTES:**

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND
- NOTIFY ENGINEER OF ANY DISCREPANCIES.

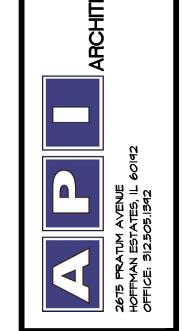
  B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS
- OTHERWISE NOTED.

  C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES. E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-892-0123)
  AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC,
- GAS, TELEPHONE, ETC. LINES ARE UNKNOWN. H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 1095.02 OF THE IDOT STANDARD SPECIFICATIONS.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

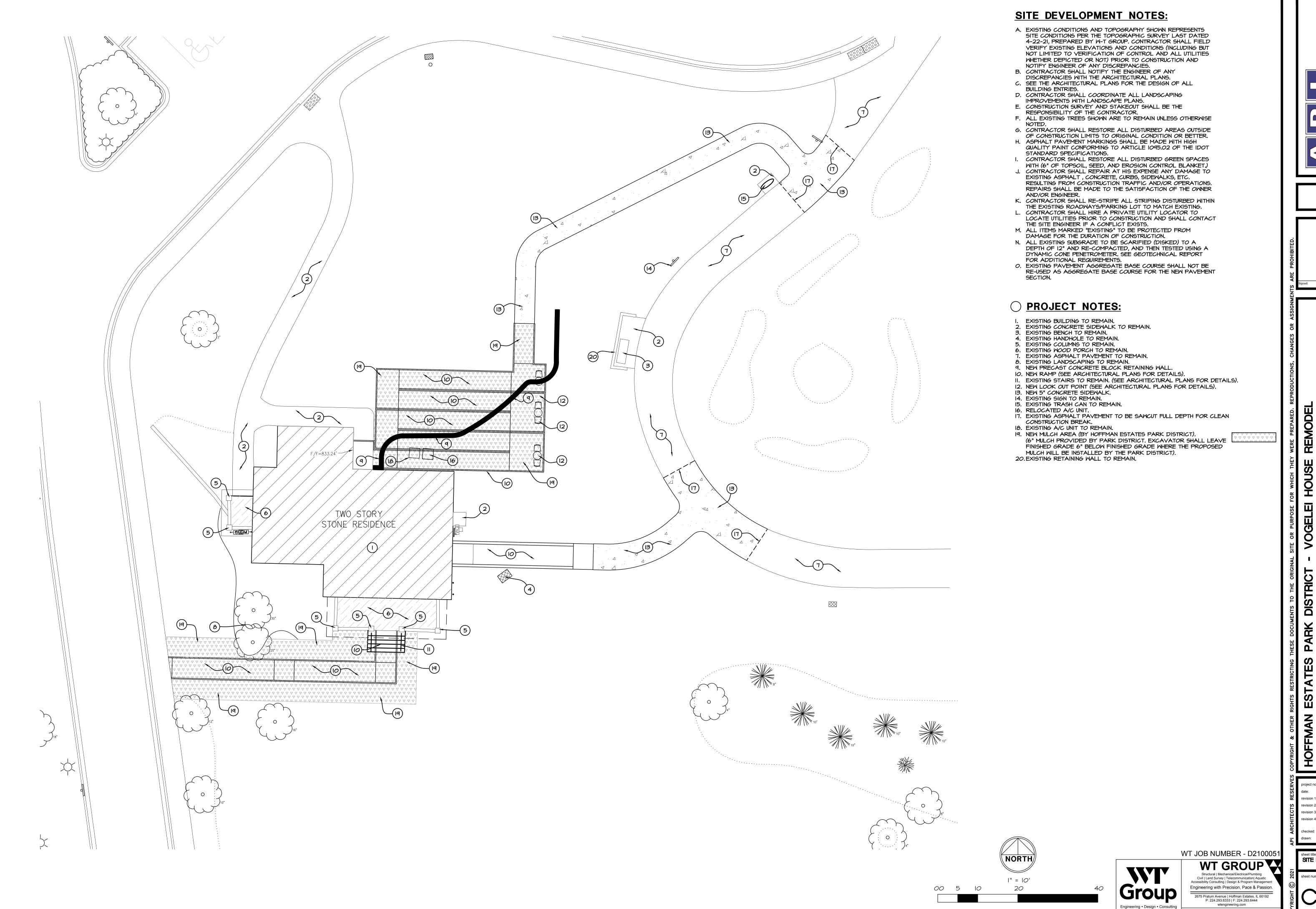
6" MULCH PROVIDED BY PARK DISTRICT. EXCAVATOR
SHALL LEAVE FINISHED GRADE 6" BELOW FINISHED
GRADE WHERE THE PROPOSED MULCH WILL BE
INSTALLED BY THE PARK DISTRICT.

sheet title:
SITE GEOMETRIC
PLAN

WT JOB NUMBER - D2100051 Structural | Mechanical/Electrical/Plumbing
Civil | Land Survey | Telecommunication| Aquatic
Accessibility Consulting | Design & Program Management
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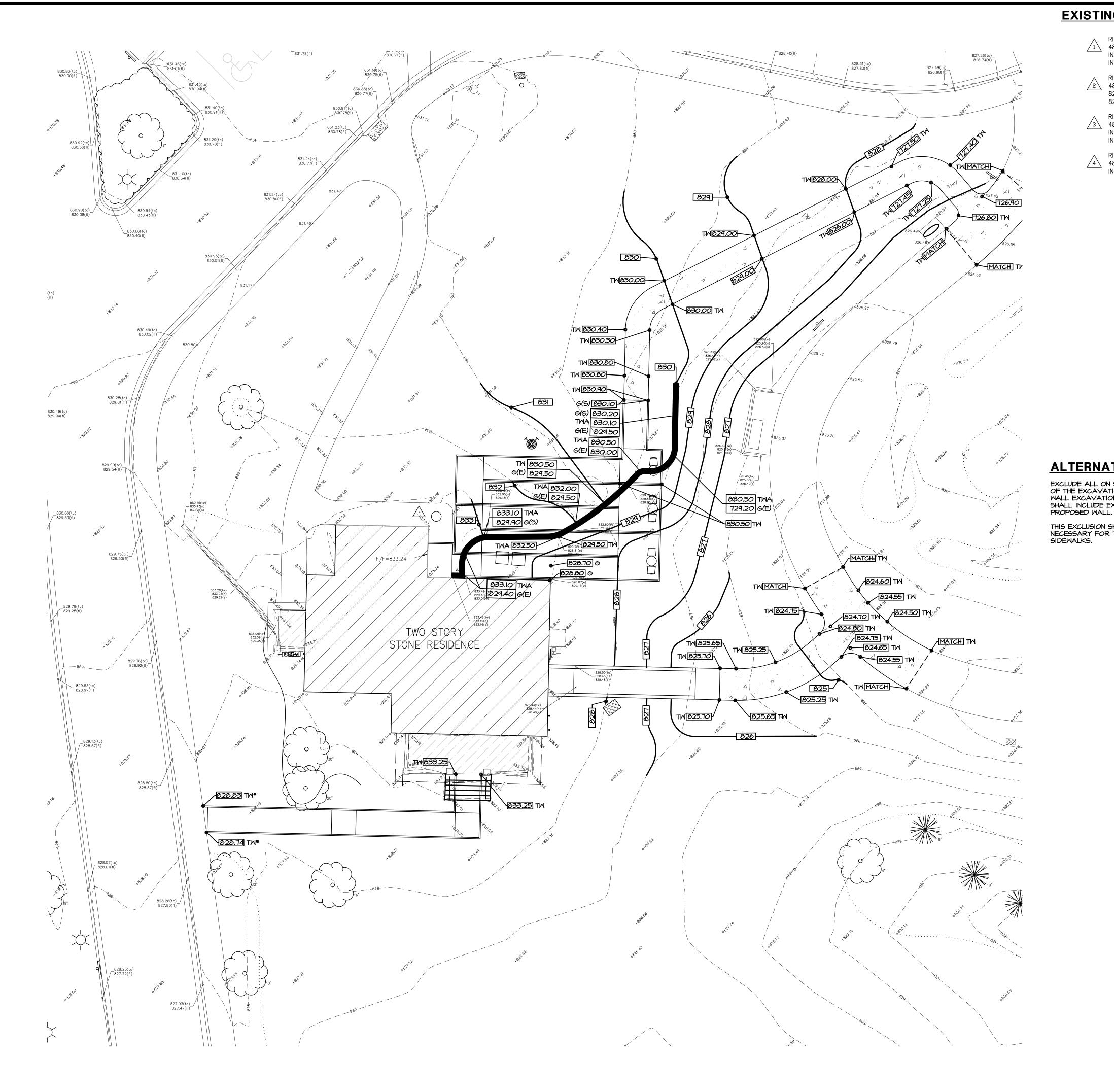


ROAD

sheet title:
SITE DEVELOPMENT
PLAN

Expires: November 30, 2

PARK



#### **EXISTING UTILITY DATA SITE GRADING NOTES:**

RIM=825.92' (STORM)
48" CONCRETE STRUCTURE
INV=821.23' (15" RCP NNE)
INV=821.13' (18" RCP SSE)

RIM=830.57' (WATER)

48" CONCRETE STRUCTURE
824.23' AT TOP OF 4" DIP E
824.30' AT TOP OF 6" DIP N/S

RIM=833.15' (SANITARY)
48" CONCRETE STRUCTURE
INV=824.05' (6" CLAY N)
INV=825.49' (6" PVC S)

RIM=831.49' (SANITARY)
48" CONCRETE STRUCTURE
INV=822.87' (8" CLAY N/S)

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE TOPOGRAPHIC SURVEY LAST DATED 4-22-21, PREPARED BY W-T GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS
- (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

  B. ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED
- ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.

  C. CONTRACTOR SHALL CONTACT J.J.L.I.E. (811 OR 1-800-892-0123) AND PRIVATE
- CONTRACTOR SHALL CONTACT JULIE. (BIT OR 1-800-892-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- D. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- F. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE
- AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.

  G. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER
- H. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.

  I. ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, PAVEMENTS, ETC.)

  SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2 00% AND A MAXIMUM
- SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM
  LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING STALLS SHALL MAINTAIN A
  MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.

  J. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT,
- OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- K. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- L. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- N. ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
- O. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.

#### **ALTERNATE #1 (DEDUCT)**

EXCLUDE ALL ON SITE EXCAVATION WITH THE EXCEPTION OF THE EXCAVATION NECESSARY FOR THE RETAINING WALL EXCAVATION. RETAINING WALL EXCAVATION SHALL INCLUDE EXCAVATION IO' ON EITHER SIDE OF THE

THIS EXCLUSION SHALL INCLUDE THE EXCAVATION NECESSARY FOR THE INSTALLATION OF THE PROPOSED SIDEWALKS.

#### **GRADING LEGEND**

+000.00 EXISTING SPOT GRADE

OOO.OO PROPOSED SPOT GRADE

INTERPOLATED SPOT GRADE (VERIFY EXISTING GRADE ELEVATION)

PROPOSED RIM ELEVATION

EXISTING CONTOUR LINE

\* 000.00

PROPOSED CONTOUR LINE
OVERLAND FLOW ARROW

100 YEAR OVERLAND FLOW ROUTE

EMERGENCY OVERFLOW ARROW

TOP OF PAVEMENT (SIDEWALK/ASPHALT PATH)

ELEVATION

TOP OF SIDEWALK ELEVATION

FINISHED GRADE ELEVATION

TO FINISHED FLOOR ELEVATION

TWA TOP OF RETAINING WALL ELEVATION

ADJUST FLOW LINE ELEVATION

ADJUST FLOW LINE ELEVATION

ADJUST EXISTING RIM ELEVATION

EXISTING CLOSED MANHOLE

EXISTING CURB INLET

EXISTING FIRE HYDRANT

EXISTING VALVE VAULT

EXISTING B-BOX
PROPOSED FIRE HYDRANT
PROPOSED VALVE WITH VAULT

PROPOSED B-BOX

PROPOSED INLET

PROPOSED OPEN LID MANHOLE / CATCH BASIN

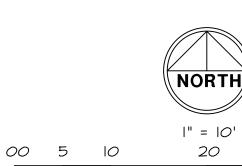
PROPOSED CLOSED LID MANHOLE

PROPOSED RESTRICTOR STRUCTURE
PROPOSED NYLOPLAST DRAIN BASIN
PROPOSED FLARED END SECTION

NEW CONCRETE PAVEMENT
5" PORTLAND CEMENT CONCRETE

4" CA-6

PROPOSED GREASE TRAP





WT JOB NUMBER - D2100051

WT GROUP

Structural | Mechanical/Electrical/Plumbing
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Accessibility Consulting | Design & Program Management
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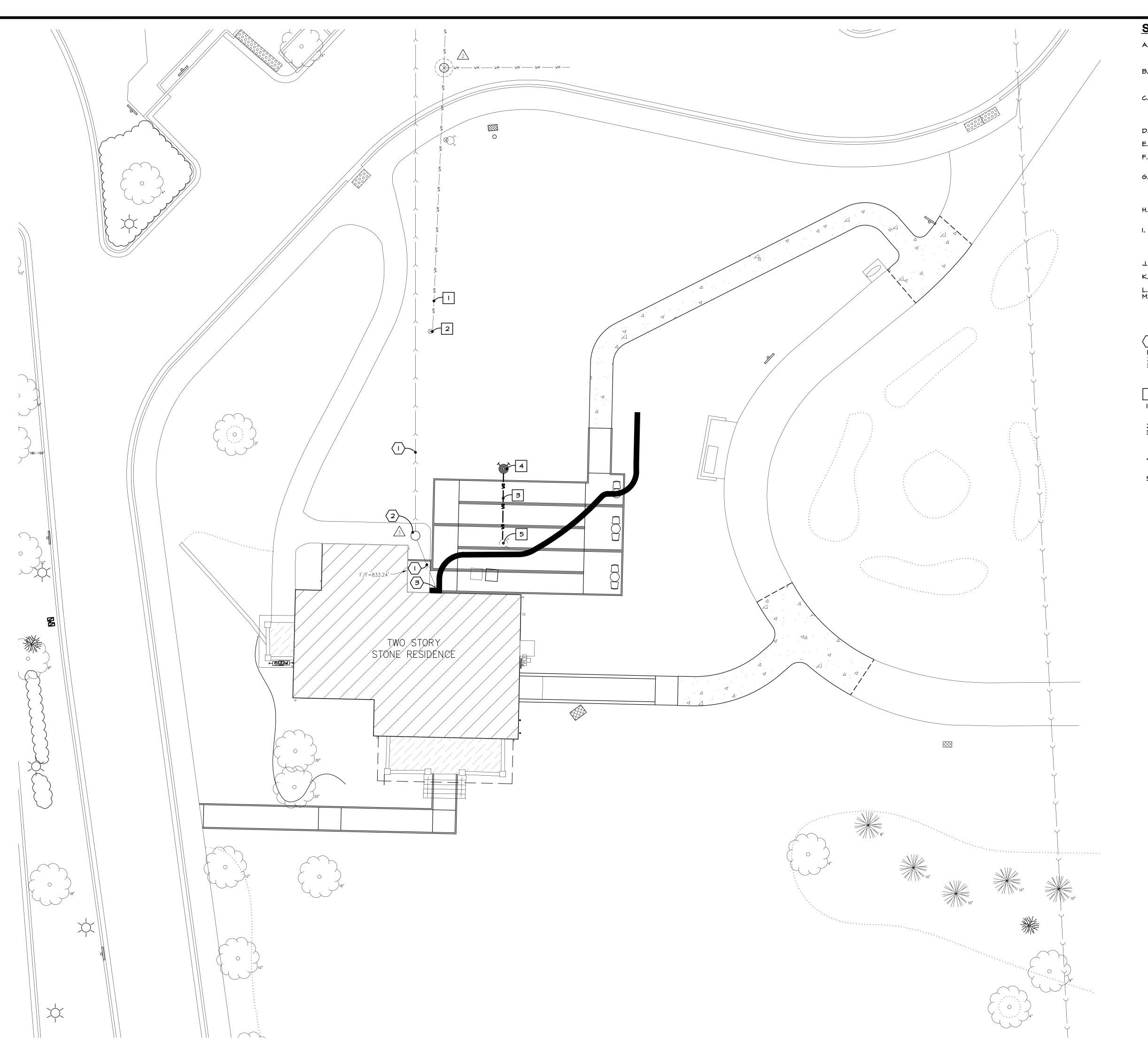
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project no. D2100051 date: 06.14.2021 revision 1: revision 2: revision 3: revision 4: checked: drawn:

8

Expires: November 30,

sheet title:
SITE GRADING PLAN
sheet number:



#### **SITE UTILITY NOTES:**

- A. CONTRACTOR SHALL CONTACT J.U.L.I.E. (811 OR 1-800-892-0123) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- B. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE
- SATISFACTION OF THE OWNER AND/OR ENGINEER.

  C. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS
- PRIOR TO PROCEEDING WITH CONSTRUCTION.

  D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE
- MATERIAL AND JOINT SPECIFICATIONS.

  E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF
- CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.

  F. CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- G. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- H. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443 AND SECTION 31-1.08 OF THE "STANDARD SPECIFICATIONS".
  I. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A
- MINIMUM OF 45% MODIFIED PROCTOR DENSITY (ASTM D-1557) OVER ALL UNDERGROUND UTILITIES WHICH ARE CONSTRUCTED UNDER OR WITHIN 2 FEET OF ANY PROPOSED OR EXISTING PAVEMENT OR SIDEWALKS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- J. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY
   TO MEET PROPOSED FINISHED GRADE.
   K. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM
- SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- L. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
  M. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.

## PROJECT NOTES: SANITARY SEWER

- . EXISTING SANITARY SEWER TO REMAIN.
- EXISTING SANITARY SEMER TO REMAIN.

  EXISTING SANITARY STRUCTURE TO REMAIN.
- 3. EXISTING CLEANOUT TO REMAIN. USE CAUTION WHEN EXCAVATING FOR THE NEW RETAINING WALL.

#### WATER

- I. EXISTING WATERMAIN TO REMAIN. LOCATION SHOWN PER RECORDS, VERIFY LOCATION, SIZE, AND DEPTH IN FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- 2. EXISTING B-BOX TO REMAIN.
  3. NEW 6" CLASS 52 D.I.P. 20. L.
- 3. NEW 6" CLASS 52 D.I.P. 20, L.F. FOR RELOCATION OF EXISTING FIRE DEPARTMENT CONNECTION. VERIFY SIZE OF PIPING PRIOR TO ORDERING PIPING TO ENSURE THAT THE EXISTING PIPING IS 6" CLASS 52 D.I.P., PROVIDE FITTINGS NECESSARY FOR RELOCATION.
- 4. NEW LOCATION OF EXISTING FIRE DEPARTMENT CONNECTION.
  CONTRACTOR SHALL COORDINATE ALL FIRE DEPARTMENT TESTING
  THAT IS NECESSARY.
- 5. REMOVE AND RELOCATE EXISTING EXTERNAL FIRE DEPARTMENT CONNECTION.

#### **UTILITY LEGEND**

EXISTING STORM SEMER

EXISTING SANITARY SEMER

EXISTING WATER MAIN

PROPOSED WATER SERVICE

PROPOSED RIM ELEVATION

PROPOSED INVERT ELEVATION

ADJUST ADJUST EXISTING RIM ELEVATION

EXISTING CLOSED MANHOLE

EXISTING VALVE VAULT

EXISTING B-BOX

PROPOSED FIRE HYDRANT

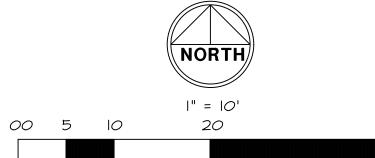
#### EXISTING UTILITY DATA

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INV=821.23' (15" RCP NNE)
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RIM=830.57' (WATER)
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824.23' AT TOP OF 4" DIP E
824.30' AT TOP OF 6" DIP N/S

RIM=833.15' (SANITARY)
48" CONCRETE STRUCTURE
INV=824.05' (6" CLAY N)
INV=825.49' (6" PVC S)

RIM=831.49' (SANITARY)
48" CONCRETE STRUCTURE
INV=822.87' (8" CLAY N/S)



WT JOB NUMBER - D2100051

WT GROUP

Structural | Mechanical/Electrical/Plumbing
Civil | Land Survey | Telecommunication| Aquatic
Accessibility Consulting | Design & Program Management
Engineering with Precision, Pace & Passion.

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revision 4:

checked:
drawn:

SITE UTILITY |

sheet number:

TS PRATUM AVENUE FFMAN ESTATES, IL 60192 FICE: 312:505:1392

Signed: Expires: November 30, 2020

Signed: Expires: November 30,

E ORIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PREPARED. REPRODUCT

HOFFMAN ESTATES PARK DE 650 WEST HIGGINS ROAD HOFFMAN ESTATES, IL 6016

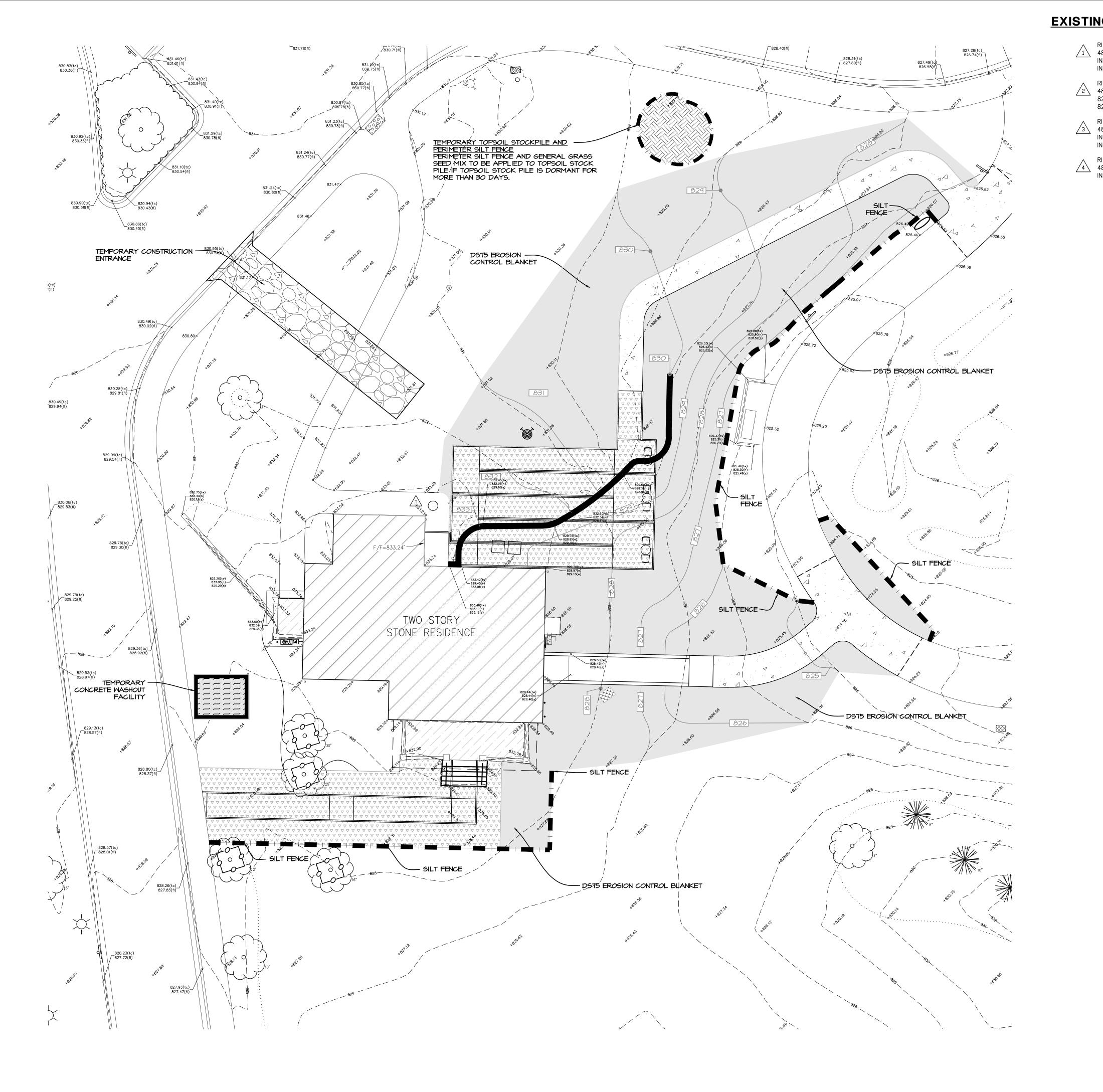
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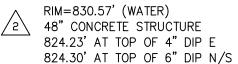
sheet title:
SITE UTILITY PLAN
sheet number:

C-50



#### **EXISTING UTILITY DATA**

RIM=825.92' (STORM) 48" CONCRETE STRUCTURE INV=821.23' (15" RCP NNE) INV=821.13' (18" RCP SSE)



RIM=833.15' (SANITARY) 48" CONCRETE STRUCTURE INV=824.05' (6" CLAY N) INV=825.49' (6" PVC S)

RIM=831.49' (SANITARY) 48" CONCRETE STRUCTURE INV=822.87' (8" CLAY N/S)

#### **SWPPP NOTES:**

- A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
- B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
- C. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS
- MUST BE CLEANED IMMEDIATELY. D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAKES AND STAPLES ARE
- E. CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE
- DURATION OF THE PROJECT. F. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS,
- SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- G. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL
- STABILIZATION OF THE SITE. H. FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR
- SHALL RESTORE THE THE SILT FENCE TRENCH WITH SOD. CONTRACTOR SHALL INITIATE STABILIZATION OF ALL DISTURBED AREAS WITHIN ONE CALENDAR DAY.
- J. SEED BED PREPARATION: J.A. ALL STONES, ROCKS, DEBRIS LARGER THAN I" IN DIAMETER
- SHALL BE REMOVED. J.B. DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES,
- CLODS, AND DEBRIS J.C. THE AREA SHALL BE FINE GRADED.
- THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
- BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
- SEEDED AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
- ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
- THE SEED MIX SHALL BE KENTUCKY BLUEGRASS IOOLBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND CREEPING RED FESCUE 40 LBS/ACRE TOTAL.

#### SWPPP LEGEND

EXISTING SPOT GRADE

EXISTING CONTOUR LINE PROPOSED CONTOUR LINE

OVERLAND FLOW ARROW

100 YEAR OVERLAND FLOW ROUTE

EMERGENCY OVERFLOW ARROW

ADJUST EXISTING RIM ELEVATION EXISTING CLOSED MANHOLE

EXISTING OPEN GRATE MANHOLE

EXISTING BEEHIVE GRATE MANHOLE EXISTING CURB INLET

EXISTING FIRE HYDRANT

EXISTING VALVE VAULT EXISTING B-BOX

PROPOSED FIRE HYDRANT

PROPOSED VALVE WITH VAULT

PROPOSED B-BOX

PROPOSED INLET

PROPOSED OPEN LID MANHOLE / CATCH BASIN PROPOSED CLOSED LID MANHOLE

PROPOSED RESTRICTOR STRUCTURE

PROPOSED NYLOPLAST DRAIN BASIN

PROPOSED FLARED END SECTION

PROPOSED GREASE TRAP

SILT FENCE

FLEXSTORM CATCH-IT INLET PROTECTION

SILT FENCE INLET PROTECTION WITH STONE COLLAR

FINE GRADE, FERTILIZE, AND SEED. INSTALL DS75 EROSION CONTROL BLANKET WITH 6" <u>BIO-STAKES</u> AS MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS.



TEMPORARY CONCRETE WASHOUT FACILITY

ROOT ZONE TREE PROTECTION



00 5 10

NOTE: THE OWNER SHALL BE RESPONSIBLE FOR ALL RESTORATION AND EROSION CONTROL.

WT JOB NUMBER - D2100051

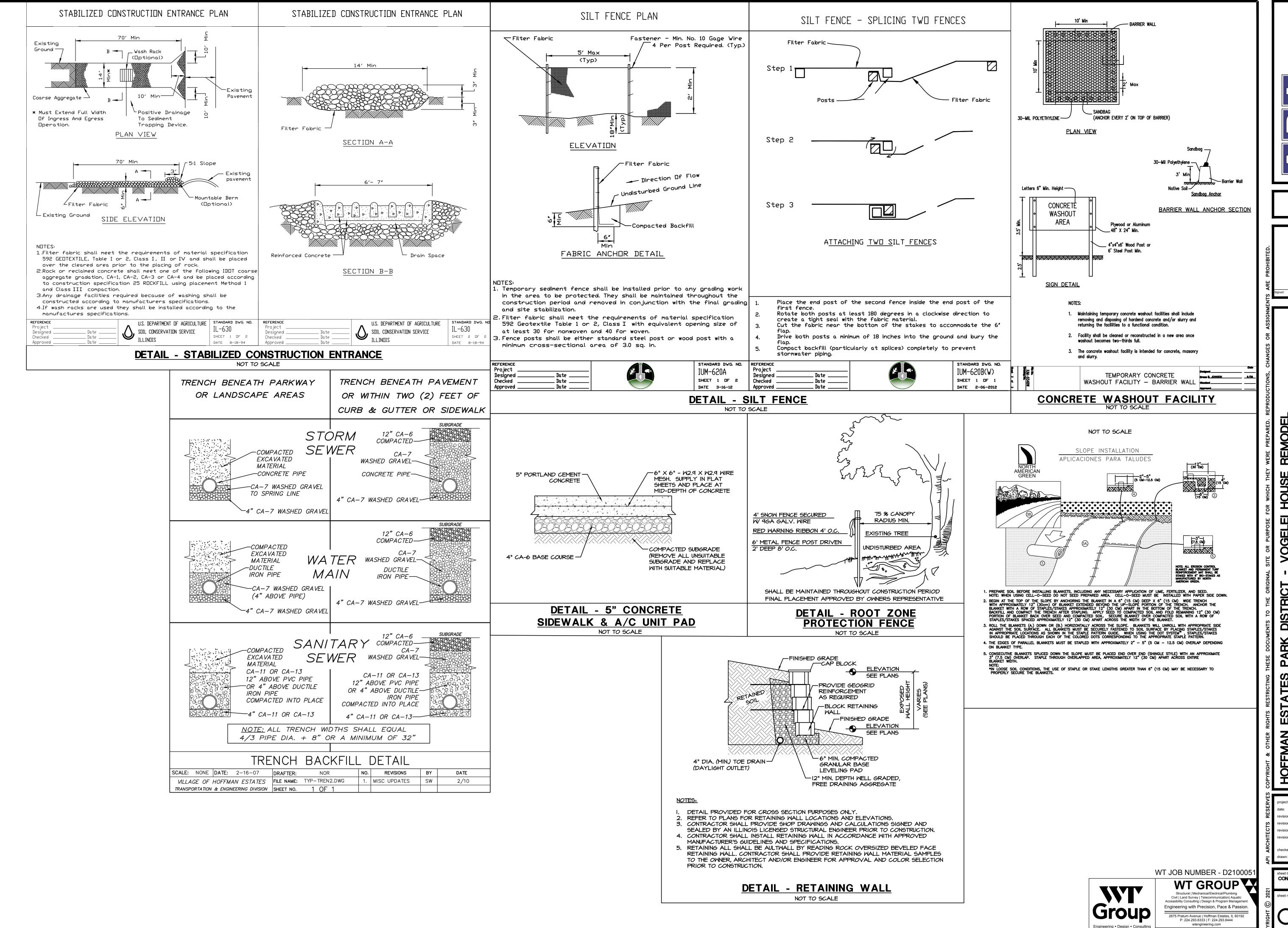
WT GROUP 🔀 Civil | Land Survey | Telecommunication| Aquatic Accessibility Consulting | Design & Program Management Engineering with Precision, Pace & Passion. 5 Pratum Avenue | Hoffman Estates, IL 60192 P: 224.293.6333 | F: 224.293.6444

Expires: November 30, 2

ROAD

D210005 06.19.202

STORM WATER POLLUTION PREVENTION PLAN



Expires: November 30, 2

STR  $\Box$ PARK ROAD

D210005 06.19.202 revision 3: evision 4

CONSTRUCTION DETAILS

#### **GENERAL NOTES**

- I. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:
- I.I. ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION.
- I.2. "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" LATEST
- I.3. "ILLINOIS URBAN MANUAL," LATEST EDITION.
- I.4. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
- I.5. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- I.6. ILLINOIS DRAINAGE LAW.
- I.7. ILLINOIS ENVIRONMENTAL BARRIERS ACT.
- I.S. ILLINOIS ACCESSIBILITY CODE.
- I.A. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
- I.IO. TITLE 35 OF THE ILLINOIS ADMINISTRATIVE CODE.
- 2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHEETING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO INFORM AND PROTECT THE PUBLIC.
- 3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY PUBLIC IMPROVEMENTS, ROADWAY CLOSURES OR UTILITY INSTALLATIONS. 72 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
- 4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL THE JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS (J.U.L.I.E.) AT I-800-892-0123 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
- 6. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE ENGINEER ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
- 7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).
- 8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
- 9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
- IO. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
- II. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
- 12. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
- 13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
- 14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- 15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
- 16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
- I7.I. ASPHALT PAVEMENT MIX DESIGN
- 17.2. CONCRETE MIX DESIGN
- 17.3. GRANULAR MATERIAL GRADATION
- 17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VAULTS, ETC.)
- 17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
- 18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
- 19.1 TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
- 19.2 HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
- 19.3 RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
- 19.4 AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

#### SITE GRADING AND PAVING

- I. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," LATEST EDITION ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
- 2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 200 OF THE "STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
- 3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING. UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
- 4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A SOILS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOILS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.
- 5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
- 7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
- REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFF-SITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
- 9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
- IO. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
- II. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
- 12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
- 13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
- 14. ALL CONCRETE POURED SHALL BE:
- I4.I. MINIMUM COMPRESSIVE STRENGTH:I4.I.I. 3,500 P.S.I. AT I4 DAYS (PER I.D.O.T.)I4.I.2. 4,500 P.S.I. AT 28 DAYS (PER A.C.I.)
- 14.2. MAX WATER-CEMENTITIOUS MATERIALS RATIO: 0.44 (AIR-ENTRAINED)
- 14.3. AIR CONTENT: 6%, +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
- 15. WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBRIIIATED POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C III6, TYPE III, ⅓ TO ⅗ INCHES LONG. FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN I.5 LBS / CU. YD.
- I6. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
- 17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
- 18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
- 19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.
- 20. EXISTING PAVEMENT AGGREGATE BASE COURSE SHALL NOT BE RE-USED AS AGGREGATE BASE COURSE FOR THE NEW PAVEMENT SECTION.

### STORMWATER POLLUTION PREVENTION NOTES

- I. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS
  SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH THE PERMIT,
  INCIDENT OF NON-COMPLIANCE (I.O.N.) FORM AND INSPECTION FORMS.
- INCIDENT OF NON-COMPLIANCE (I.O.N.) FORM AND INSPECTION FORMS.

  2. CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPP REPORTS, FORMS, AND LOGS TO W-T CIVIL ENGINEERING ONCE THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS FROM THE FINAL STABILIZATION OF THE SITE.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
- 3.I. ILLINOIS QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 3.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS SET FORTH BY THE ILLINOIS EPA.
- 4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
- 5. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAT INDICATED ON THESE PLANS (INCLUDING BUT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.

6. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE

- MUST BE NOTIFIED ONE (I) WEEK PRIOR TO THE PRE-CONSTRUCTION
  CONFERENCE, ONE (I) WEEK PRIOR TO THE COMMENCEMENT OF LAND
  DISTURBING ACTIVITIES, AND ONE (I) WEEK PRIOR TO THE FINAL INSPECTION.
  THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND
- SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.

  8. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
- MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.

  9. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL LATEST EDITION.
- IO. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
- II. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.

12. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING

- CONSTRUCTION.

  13. ALL DISTURBED AREAS SHOULD BE SEEDED OR SODDED WITHIN THREE (3)
- DAYS OF FINAL DISTURBANCE.

  14. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS
- LOOSE MATERIAL SHALL BE REMOVED.

  15. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED
- WITH THIS PROJECT.

  16. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE
- CONTRACTOR.

  17. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSES IS
- PROHIBITED.

  18. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYMER MIXING SWALE. DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, BIVERS, OR STORMWATER SYSTEMS IS PROJUBLIED.
- PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.

  19. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING
- THE STOCKPILE.

  20. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS
- TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:

  20.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY
  AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY
  CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER,
  STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS
- PRACTICABLE.

  20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I..E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY
- AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.

  21. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR
- STEEPER AND AS SHOWN ON THE PLANS.

  22. ALL DISTURBED GREEN SPACES WITHIN THE R.O., W. SHALL BE RESTORED WITH

  6" OF TOPSOIL AND CLASS 2A SEEDING.
- 23. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABLIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
- 24. ONCE ALL UPSTREAM AREAS ARE STABILIZED WITH SEED AND BLANKET OR SOD AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE TRENCH SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
- 25. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES
  SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS
  ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY
  THE CONTRACTOR.

### SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

- I. OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
- 4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
- 5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND MITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
- 5.I. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
- 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
- 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
- 6. PERFORM SITE CLEARING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
- 7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
- 8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
- 9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.

SIDEWALKS, ETC.).

- IO. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
- II. INSTALL DETENTION SYSTEMS, STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
- 12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE
- AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.

  13. INSTALL CURBS AND BEGIN SITE PAYING OPERATIONS (I.E. DRIVEWAYS,
- 14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
- 15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.
- 16. SUBMIT A NOTICE OF TERMINATION (N.O.T.) TO THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY UPON COMPLETION OF ALL SITE CONSTRUCTION AND FINAL SITE STABILIZATION (I.E. OVER 70% VEGETATIVE COVER).

#### **WATER MAINS**

- I. ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS," LATEST EDITION ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.

  2. ALL WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND
- INSTALLED IN ACCORDANCE WITH DIVISION IV OF THE "STANDARD SPECIFICATIONS."

  3. ALL WATER MAIN SHALL BE DUCTILE IRON PIPE, CLASS 52 IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS C-15I, C-III
- AND C-104, UNLESS OTHERWISE NOTED.

  4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF 5-1/2 FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BERMS ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF
- OBTAINING ADEQUATE GROUND COVER.

  5. ALL DUCTILE IRON WATER MAIN PIPE SHALL BE CONSTRUCTED WITH A MINIMUM OF 8-MIL POLYETHYLENE ENCASEMENT TO PREVENT CORROSION.

  6. ALL WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING
- AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF DIVISION II OF THE "STANDARD SPECIFICATIONS."

  6.I. ALL WATER MAINS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE. PIPE BEDDING
- GRADATION CA-7, CA-II OR CA-I3.
  6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D-1557, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAYEMENT, PARKING

MATERIAL SHALL BE CRUSHED GRAVEL OR STONE MEETING IDOT

- LOTS OR SIDEWALKS.

  7. A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN
- PIPE AT THE END OF EACH CONSTRUCTION DAY.

  8. UPON COMPLETION OF THE WATERMAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM
  - 8.I. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH SECTION 41-2.14 OF THE "STANDARD SPECIFICATIONS" AND WITNESSED BY THE LOCAL GOVERNING AUTHORITY.
  - 8.2. DISINFECTION IN ACCORDANCE WITH SECTION 41-2.15 OF THE
    "STANDARD SPECIFICATIONS" AND THE METHODS STATED IN AWMA
    STANDARD C651 AND WITNESSED BY THE LOCAL GOVERNING
    AUTHORITY.

WIT IOD NUMBER DOLO



RATUM AVENUE
AN ESTATES, IL 60/92
S 312,505,1392





Signed: Expires: November 30,

RE PREPARED. REPRODUCTIONS, CHANGES

RIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PE

DEFMAN ESTATES PARK DISTR TO WEST HIGGINS ROAD

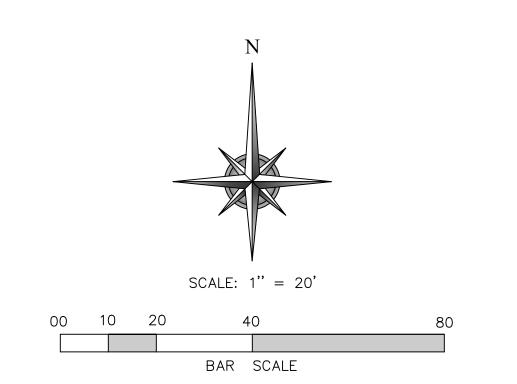
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## TOPOGRAPHIC SURVEY



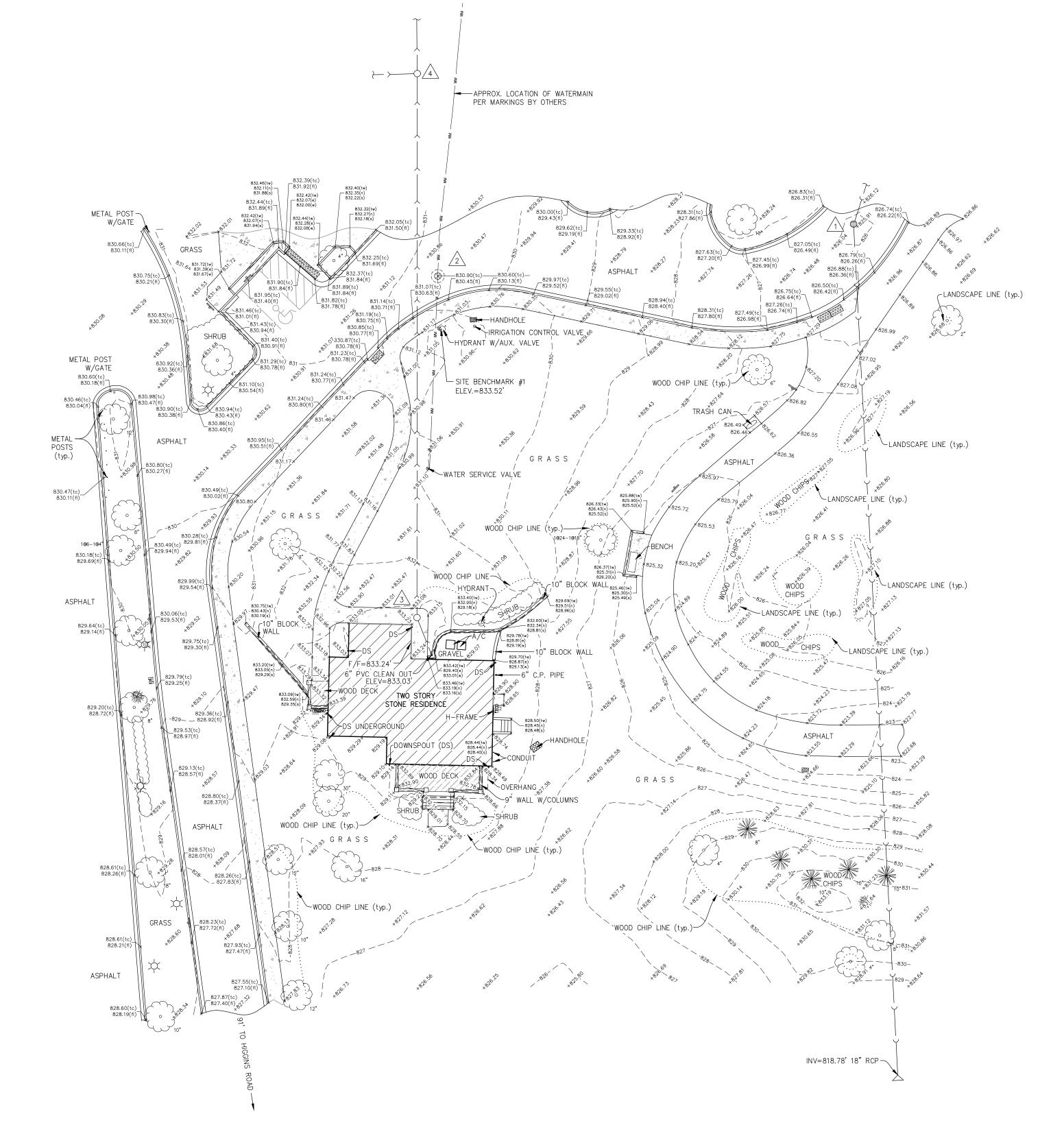


INV=821.13' (18" RCP SSE) 48" CONCRETE STRUCTURE 824.23' AT TOP OF 4" DIP E 824.30' AT TOP OF 6" DIP N/S

RIM=825.92' (STORM)
48" CONCRETE STRUCTURE
INV=821.23' (15" RCP NNE)

48" CONCRETE STRUCTURE INV=824.05' (6" CLAY N) INV=825.49' (6" PVC S)

INV=822.87' (8" CLAY N/S)



COUNTY OF COOK )

THE W-T GROUP, LLC

1. SITE BENCHMARK - WEST BOLT ON HYDRANT, 94' NE OF THE NORTHWESTERLY MOST BUILDING CORNER AS SHOWN. ELEVATION=833.52' (NAVD88)

2. THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.

3. FIELD WORK COMPLETED ON APRIL 14TH, 2021.

4. SURVEY PREPARED FOR: HOFFMAN ESTATES PARK DISTRICT.

5. ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

WE THE W-T GROUP DO HEREBY DECLARE THAT THIS TOPOGRAPHIC SURVEY WAS MADE UNDER OUR DIRECTION AND SUPERVISION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

GIVEN UNDER OUR HAND AND SEAL THIS \_\_22ND\_\_ DAY OF \_\_\_\_\_APRIL AT HOFFMAN ESTATES, ILLINOIS.

FRANJO I. MATICIC - PLS #035-003556 EXPIRES 11/30/2022

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

CHECK:FIM DRAWN:REM JOB: D2100051 SUR-1

TOPOGRAPHIC SURVEY

LEGEND PROPERTY LINE —— — CENTER LINE TYPICAL SIGN TEL/ELEC MANHOLE UTILITY POLE — — — EASEMENT LINE FLARED END SECTION ---- BUILDING SETBACK CLOSED MANHOLE (XXX') RECORD DATA --- GUY WIRE ANCHOR OPEN GRATE MANHOLE TOP OF (CURB,WALL, ETC.)

SPOT GRADE

BOTTOM OF (GROUND, GUTTER,ETC.) BEEHIVE GRATE MANHOLE ----773---- CONTOUR LINE GUTTER FRAME MANHOLE TREE LINE / HEDGE LINE ----- EDGE GRAVEL/STONE CONCRETE FIRE HYDRANT —x———x— FENCE LINE EVERGREEN/DECIDUOUS POST LIGHT\GROUND LIGHT ----- SANITARY SEWER WITH SIZE IN INCHES SHRUB/SHRUB LINE ■ MAST ARM SIGNAL ----OHL ---- OVERHEAD LINE ₩ HANDHOLE (electric\traffic) — FO — FIBER OPTIC LINE --- G --- GAS LINE (cable,elec,fiber) tel, water, gas)

LOCATION MAP

CLIENT